

**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION**
1105 Jefferson Avenue
Waco, TX 76701

PROJECT TEAM

ARCHITECT	OWNER	MANAGEMENT
NISBET ARCHITECTURE, LLC 215 S. 2ND ST. - #307 WACO, TEXAS 76701 PH: (254) 910-8010	BEHAVIORAL HEALTH NETWORK CLARAS CENTER FOR FAMILIES 1105 JEFFERSON AVENUE WACO, TX 76701 PH: (254) 752-7889	CUMMING GROUP 913 FRANKLIN AVE WACO, TEXAS 76712 PH: (254) 301-7781

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SCOPE OF WORK / RESPONSIBILITY											
NO.	ITEM	SPECIFICATION			PROVIDED BY			INSTALLATION			COMMENTS
		G.C.	OWNE	OTHER	G.C.	OWNE	OTHER	G.C.	OWNE	OTHER	
	GENERAL										
1	PERMITS			X	X					X	
2	TAS/ADA INSPECTIONS		X			X			X		NOT APPLICABLE
3	CITY INSPECTIONS		X		X			X			GC TO COORDINATE AS REQUIRED
4	ROOFING		X			X			X		REFER PLAN FOR ADDITIONAL INFORMATION
5	WALL FRAMING / REPAIR			X	X			X			
6	GYPSUM BOARD WALL FINISH			X	X			X			
7	GYPSUM BOARD CEILING FINISH			X	X			X			
8	FLOOR FINISH			X	X			X			
9	ROOM SIGNAGE			X	X			X			TOILET ROOMS ONLY
10	MILLWORK										NOT APPLICABLE
11	EXTERIOR WINDOWS		X			X			X		EXISTING TO REMAIN
12	INTERIOR WINDOWS			X	X			X			EXISTING TO REMAIN
13	DOOR FRAMES			X	X			X			REFER UNIT PRICING
14	DOOR PANELS			X	X			X			REFER UNIT PRICING
15	DOOR HARDWARE			X	X			X			REFER UNIT PRICING
16	DOOR ACCESS CONTROL		X			X			X		GC TO COORDINATE INSTALLATION
17	FIRE ALARMS										NOT REQUIRED
18	FIRE EXTINGUISHER			X	X			X			
19	FIRE SPRINKLER SYSTEM										NOT REQUIRED
	BUILDING SYSTEMS										
	ELECTRICAL CONDUIT				X			X			EXISTING TO REMAIN / REFER PLAN NOTES
	ELECTRICAL WIRING, CABLE				X			X			EXISTING TO REMAIN / REFER PLAN NOTES
	ELECTRICAL JUNCTION BOXES				X			X			EXISTING TO REMAIN / REFER PLAN NOTES
	ELECTRICAL DEVICES				X			X			EXISTING TO REMAIN / REFER PLAN NOTES
	COVER PLATES AT ELECTRICAL DEVICES			X	X			X			PROVIDE NEW THROUGHOUT
	A/V & DATA SYSTEMS		X			X			X		COORDINATE INSTALLATION W/ OWNER
	LIGHT FIXTURES			X	X			X			REPLACEMENT FIXTURES REFER SCHEDULE
	LIGHT SWITCHES							X			EXISTING TO REMAIN / REFER PLAN NOTES
	MECHANICAL EQUIPMENT							X			EXISTING TO REMAIN / REFER PLAN NOTES
	MECHANICAL DUCT				X			X			EXISTING TO REMAIN / REFER PLAN NOTES
	MECHANICAL AIR DEVICES				X			X			EXISTING TO REMAIN / REFER PLAN NOTES

LEVEL 2 ALTERATION OF 1,035 SF OF AN EXISTING TWO STORY BUILDING WITH NO CHANGE OF OCCUPANCY. MINOR RECONFIGURATION OF EXISTING SPACES ONLY OCCURS ON LEVEL 1 AS INDICATED ON A-200

ALL INTERIOR AREAS HAVE HAD ASBESTOS ABATEMENT DEMOLITION THROUGHOUT. THE DESIGN INTENT FOR THE PROJECT IS TO RESTORE THE INTERIOR FINISHES THROUGHOUT THE BUILDING BACK TO A FINISH CONDITION OF THE SAME LEVEL AS THAT PRIOR TO ABATEMENT DEMOLITION.

IN GENERAL, EXISTING WALLS, DOORS, WINDOWS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS AND ELECTRICAL SYSTEMS TO REMAIN AND BE RESTORED TO WORKING CONDITIONS THROUGHOUT UNLESS NOTED OTHERWISE.

CEILING MOUNTED LIGHT FIXTURES HAVE BEEN DAMAGED BY ABATEMENT DEMOLITION AND WILL BE REPLACED WITH NEW LED FIXTURES THROUGHOUT (REFER SCHEDULE). ELECTRICAL SWITCHES, OUTLETS, PANELS, ETC TO REMAIN.

EXTERIOR SCOPE OF WORK INCLUDES NEW HARDIE SOFFIT AT WALKWAYS WHERE REMOVED BY DEMO CONTRACTOR, AND SELECTIVE PAINTING AS IDENTIFIED WITHIN THESE DOCUMENTS.

GENERAL NOTES:

1. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK; EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LOCAL CODES AND ORDINANCES & DEED RESTRICTIONS. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TEST, ECT. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
3. BRING ALL ERRORS, OMISSIONS, AND DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
4. THESE DRAWINGS ARE INTENDED TO BE SCHEMATIC IN NATURE. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DRAWING DOCUMENTS, DIMENSIONS AND FIELD CONDITIONS FOR COMPLIANCE WITH THE DESIGN INTENT. NOTIFY THE ARCHITECT IN THE EVENT OF INCONSISTENCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE BEGINNING WORK. THE START OF WORK SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORSEEN BY SUCH INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED.
6. CONTRACTOR TO COORDINATE STRUCTURAL FRAMING, ELECTRICAL, PLUMBING & MECHANICAL WORK.
7. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS AND COORDINATION OF ALL TRADES.
8. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SERVING THE SITE.
9. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
10. FOR DIMENSIONAL PURPOSES:
 - a. DO NOT SCALE DRAWINGS
 - b. ALL NEW INTERIOR WALLS ARE 2X4 STUDS AT 16"O.C. DIMENSIONED TO FACE OF STUD.
 - c. STRUCTURAL WALLS WITH 2X4 STUDS AT 16"O.C. ARE ACCEPTABLE ONLY TO A HEIGHT OF 12 FEET. 2X4 STUD WALLS EXCEEDING 12 FEET IN HEIGHT WILL REQUIRE STRUCTURAL ANALYSIS TO VERIFY STUD SPACING AND/OR ADDITIONAL BRACING.
 - d. EXISTING WALLS ARE DIMENSIONED TO EXISTING FINISH FACE.
 - e. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AS REQUIRED FOR COMPLETION OF WORK.
11. FOAM SEAL ALL INTERIOR AND EXTERIOR WALL CAVITY OPENINGS, I.E. HOSE BIBS, ELECTRICAL BOXES, ETC.
12. SEAL ALL SILL PLATES.
13. PROVIDE SOLID LUMBER BLOCKING IN WALL FOR MISCELLANEOUS FIXTURES AND HARDWARE, I.E. TOWEL BARS, CLOSET SHELVING, CABINETS, CEILING FANS, ETC. WHERE SUCH FIXTURES ARE INDICATED ON THE PLANS.
14. ADJUST HEIGHT OF FLOOR STRUCTURE TO ALIGN ALL FINISH SURFACES UNLESS SPECIFICALLY INDICATED OTHERWISE.

CODE ENFORCEMENT JURISDICTION:
CITY OF WACO, TEXAS (MCLENNAN COUNTY)

SITE ZONING:

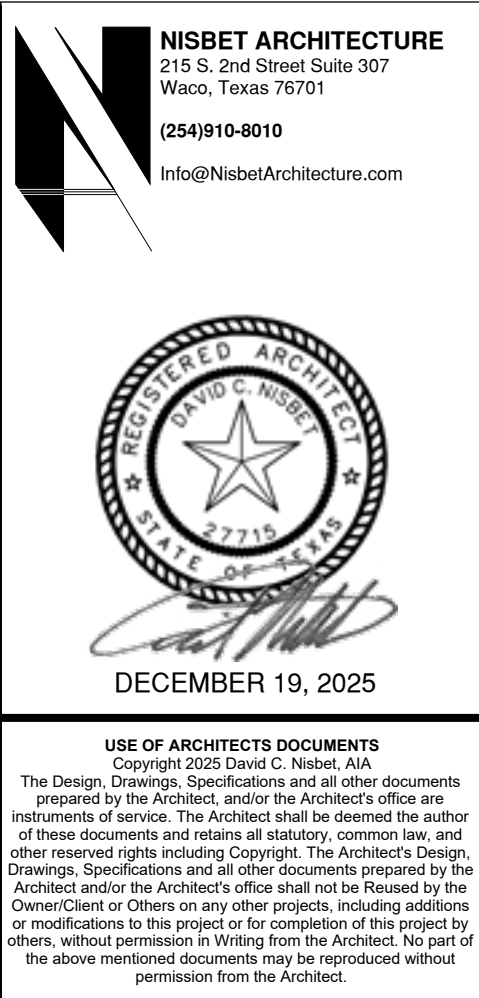
APPLICABLE CODES:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL FIRE CODE
2012 TEXAS ACCESSIBILITY STANDARDS
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
CITY OF WACO LANDSCAPE ORDINANCE

TDLR REGISTRATION NUMBER: TABS2025026553

BUILDING SQUARE FOOTAGE	AREA
West Wing level 1	2,971
East Wing level 1	3,460
West wing level 2	2,971
East wing level 2	3,460
Total Floor Area	12,862

1. -CODE REFERENCE: ALL WORK IN THIS PROJECT SHALL BE IN ACCORDANCE WITH REQUIREMENTS SET FORTH BY THE GOVERNING AGENCY OF THIS LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE REGULATING AUTHORITY.
2. -CODE SUMMARY: THIS SUMMARY HIGHLIGHTS IMPORTANT & COMMON PLANNING AND SAFETY COMPLIANCE ISSUES, BUT IT IS NOT INTENDED TO BE CONSIDERED AS CONCLUSIVE OF ALL REQUIREMENTS. ITEMS IN QUESTION NEED TO BE REFERENCED DIRECTLY TO THE CODE AND/OR THE LOCAL CODE ENFORCEMENT OFFICER.
3. - COMPLIANCE RESPONSIBILITY: ALL CONTRACTORS ARE RESPONSIBLE FOR ALL CODES GOVERNING THEIR WORK AS WELL AS ALL ATTENDING PERMITS, FEES, AND INSPECTIONS.



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1105 JEFFERSON AVE, WACO TEXAS**

FILE NAME
C:/Users/User Profile David N/OneDrive - Nisbet
Architecture/NA Projects/25121 - BHN Jefferson
Ave/Model/Layout/1_BID PACKAGE/G-000 -
PROJECT INFO/Layout

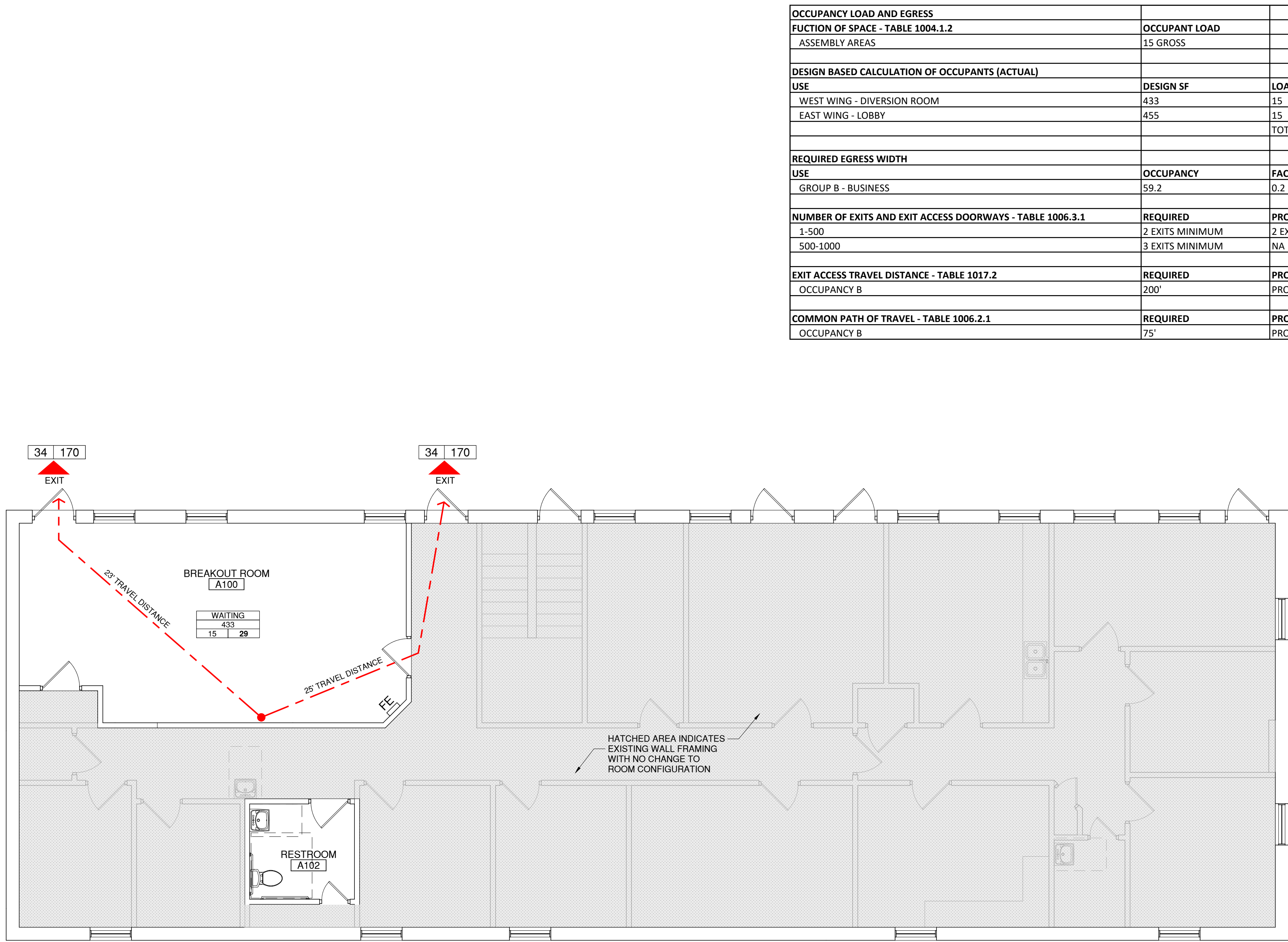
ISSUE DATE
December 29, 2025

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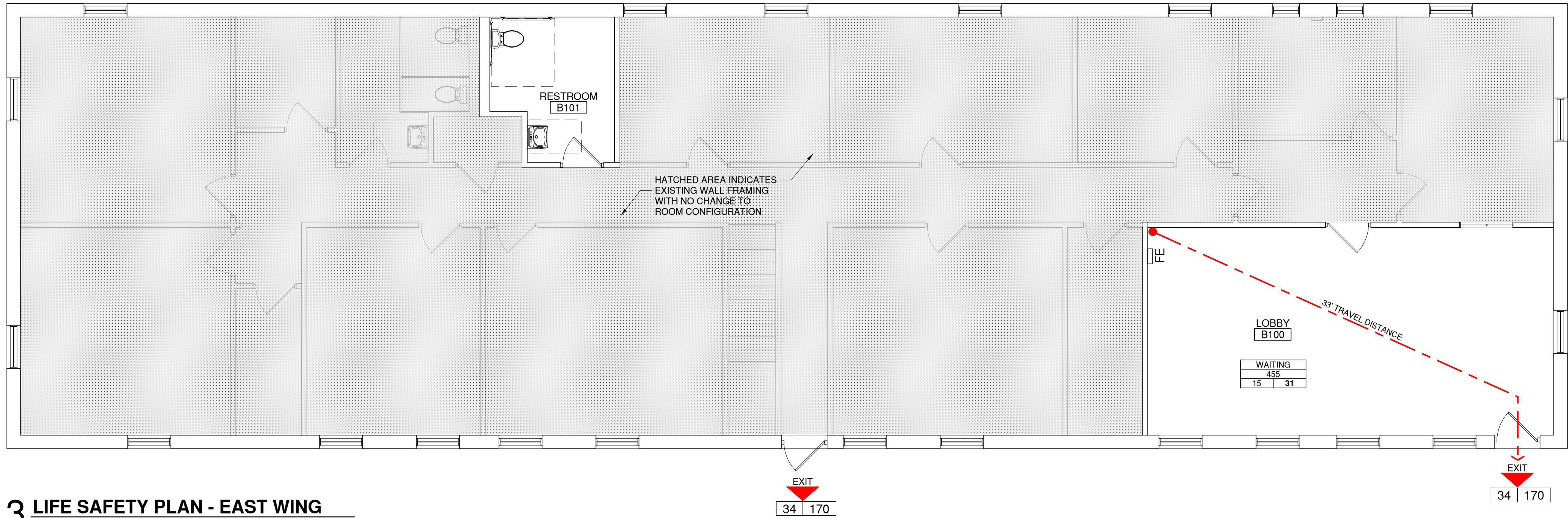
REVISION

COVER SHEET

G-000



2 LIFE SAFETY PLAN - WEST WING
SCALE: 3/16"=1'-0"



3 LIFE SAFETY PLAN - EAST WING
SCALE: 3/16"=1'-0"

OCCUPANCY LOAD AND EGRESS			
FUCION OF SPACE - TABLE 1004.1.2		OCCUPANT LOAD	
ASSEMBLY AREAS		15 GROSS	
DESIGN BASED CALCULATION OF OCCUPANTS (ACTUAL)			
USE	DESIGN SF	LOAD FACTOR	CODE OCCUPANCY
WEST WING - DIVERSION ROOM	433	15	28.87
EAST WING - LOBBY	455	15	30.33
		TOTAL OCCUPANCY IN SCOPE	59.2
REQUIRED EGRESS WIDTH			
USE	OCCUPANCY	FACTOR	TOTAL WIDTH (IN.)
GROUP B - BUSINESS	59.2	0.2	11.84 (44" MIN)
NUMBER OF EXITS AND EXIT ACCESS DOORWAYS - TABLE 1006.3.1		REQUIRED	PROVIDED
1-500		2 EXITS MINIMUM	2 EXITS
500-1000		3 EXITS MINIMUM	NA
EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2		REQUIRED	PROVIDED
OCCUPANCY B		200'	PROVIDED < 200'
COMMON PATH OF TRAVEL - TABLE 1006.2.1		REQUIRED	PROVIDED
OCCUPANCY B		75'	PROVIDED < 75'

BUILDING CODE	
OCCUPANCY CLASSIFICATION:	BUSINESS B / OFFICE USE
RENOVATION FLOOR AREA IN SCOPE	1,035 SF
BUILDING AREA	EAST WING - LEVEL 1: 3,460 SF / LEVEL 2: 3,460 (6,920 TOTAL)
	WEST WING - LEVEL 1: 2,971 SF / LEVEL 2: 2,971 (5,942 TOTAL)
CONSTRUCTION TYPE T.601 & SEC. 602.2	TYPE V B
FIRE PROTECTION SYSTEM	AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED
FIRE ALARM SEC. 907.2.2 GROUP B	FIRE ALARM NOT REQUIRED
FIRE EXTINGUISHERS	INSTALLED AT 75' TRAVEL DISTANCE : REFER PLAN
FIRE RESISTANCE RATINGS	
BUILDING ELEMENTS TABLE 601	TYPE V B
PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS (EXTERIOR)	0 HR
BEARING WALLS (INTERIOR)	0 HR
NONBEARING WALLS & PARTITIONS (EXTERIOR)	0 HR
NONBEARING WALLS & PARTITIONS (INTERIOR)	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
MISCELLANEOUS RATINGS	
VERTICAL OPENINGS (SEC. 712.1.9)	0 HR
DUCT PENETRATIONS THRU NONFIRE RESITSTANCE RATED FLOOR ASSEMBLIES	0 HR
DRAFTSTOPPING IN ATTICS (718.4.3)	<3,000 SF
EXIT ACCESS STAIRWAYS (SEC.1019.3.1)	0 HR
CORRIDORS (T. 1020.1)	OCCUPANT LOAD <30 = 0 HR
EXIT ACCESS TRAVEL DISTANCE (T. 1017.2)	200 FEET
DEAD END CORRIDORS	20 FEET

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DECEMBER 19, 2025

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FILE NAME
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CODE DATA LEGEND

PATH OF EGRESS TRAVEL

EXIT AND EGRESS LOAD WIDTH INCHES / # OCCUPANTS

OCCUPANCY USE

ROOM SF

LOAD FACTOR

OCCUPANTS

FIRE EXTINGUISHER CABINET

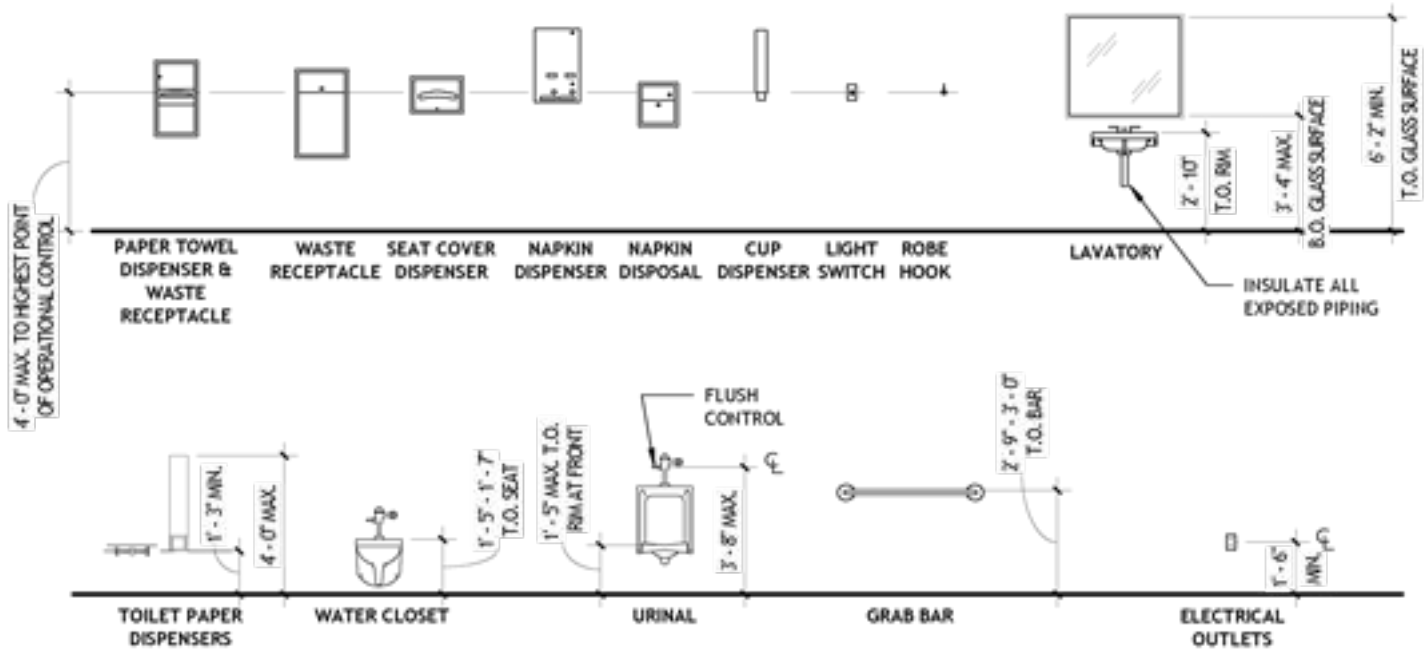
GENERAL AREA
LARSEN MPFS SERIES MULTI-PURPOSE
CHEMICAL ABC EXTINGUISHER

FOOD PREP
LARSEN WC6L WET CHEMICAL

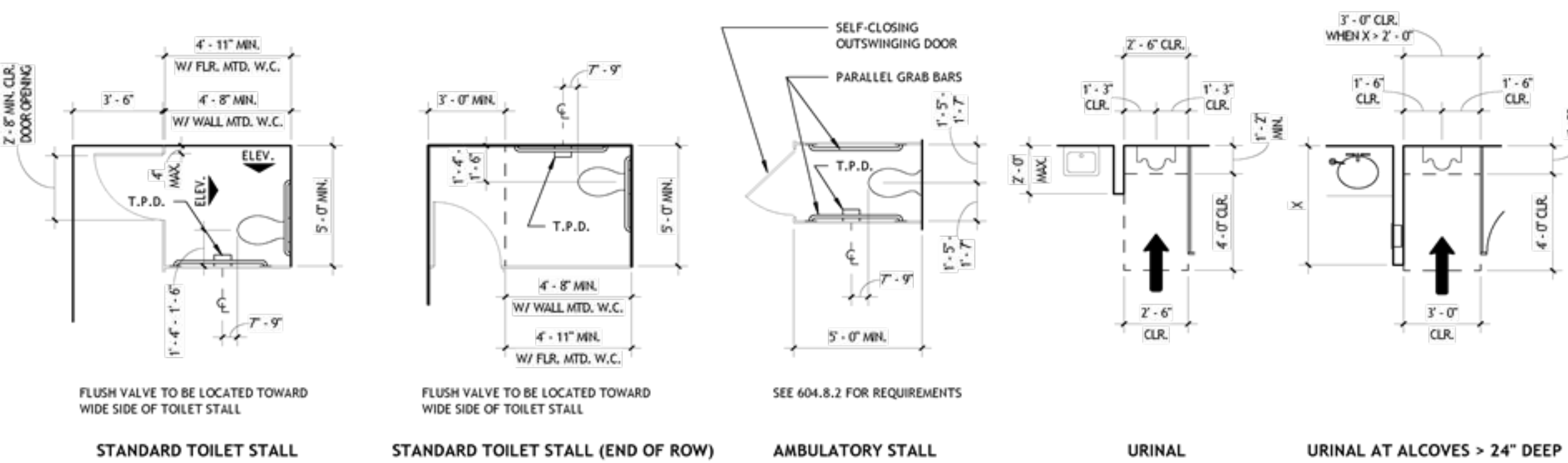
CABINETS
LARSEN VERTICAL DUO
#4 STAINLESS STEEL DOOR

CODE SUMMARY &
LIFE SAFETY PLANS
G-002

ACCESSIBLE MOUNTING HEIGHTS



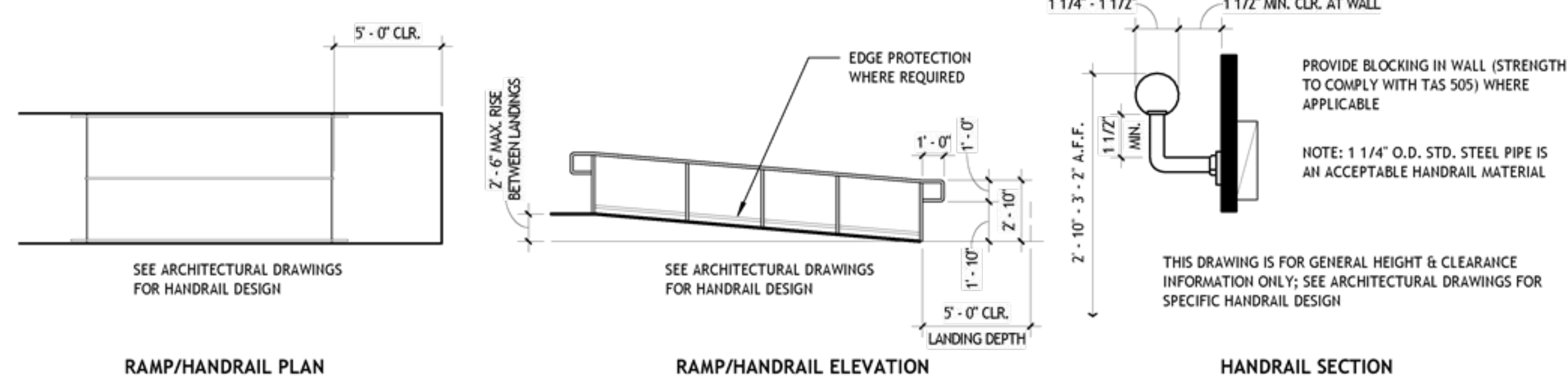
TOILET STALLS



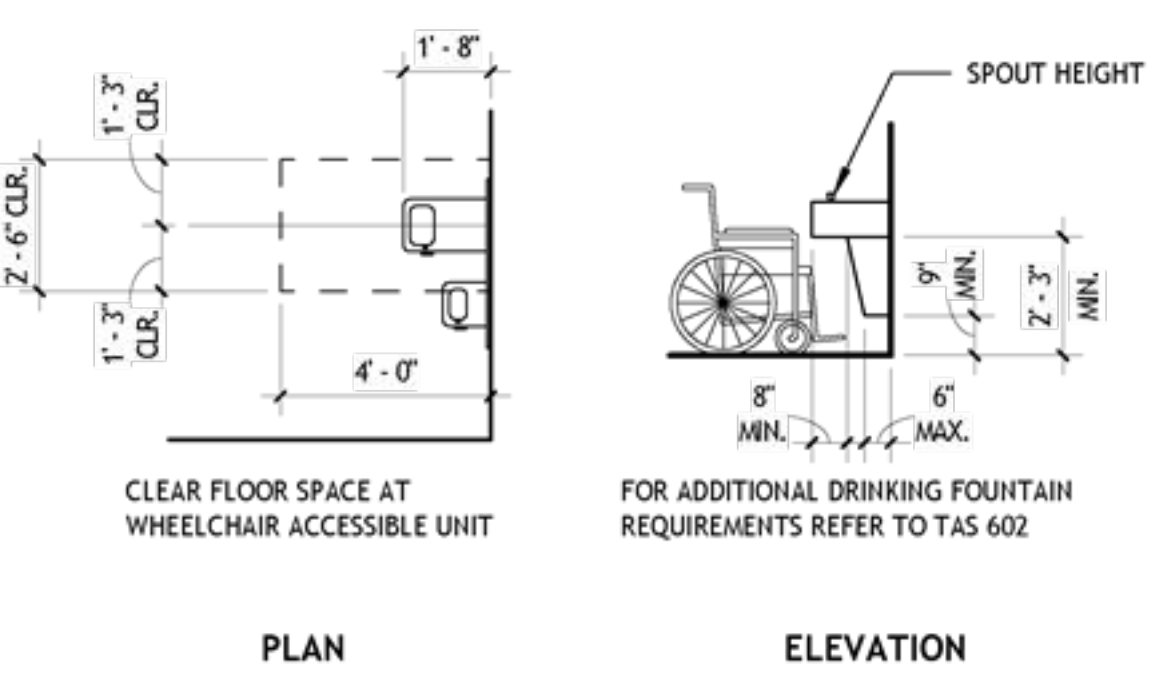
GENERAL NOTES ACCESSIBILITY:

- 1. SECTION NUMBERS ON THIS SHEET REFERENCE THE 2012 TEXAS ACCESSIBILITY STANDARDS (TAS) OF THE ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
- 2. REFERENCES TO ADA (AMERICANS WITH DISABILITIES ACT) THROUGHOUT CONSTRUCTION DRAWINGS SHALL MEAN COMPLIANCE WITH 2012 TAS.
- 3. IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN INFORMATION ON THIS SHEET AND INFORMATION SHOWN ELSEWHERE, THE INFORMATION ON THIS SHEET SHALL GOVERN.
- 4. INFORMATION SHOWN ON THIS SHEET IS THE MINIMUM REQUIREMENT FOR ACCESSIBILITY COMPLIANCE AND DOES NOT ADDRESS COMPLIANCE WITH OTHER CODES OR STANDARDS.
- 5. ALL DIMENSIONS SHOWN ARE TO THE APPLIED FINISH FACE. CONTRACTOR SHALL MAKE ALLOWANCES FOR THICKNESSES OF SCHEDULED FINISHES.
- 6. DRAWINGS ON THIS SHEET ARE NOT TO SCALE.
- 7. THIS IS A STANDARD SHEET. ALL INFORMATION SHOWN ON THIS SHEET DOES NOT NECESSARILY APPLY TO THIS PROJECT.

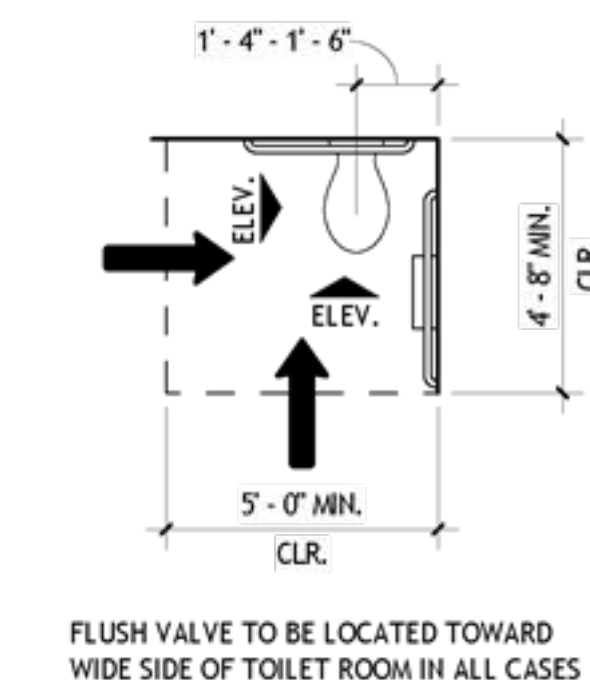
RAMPS AND HANDRAILS



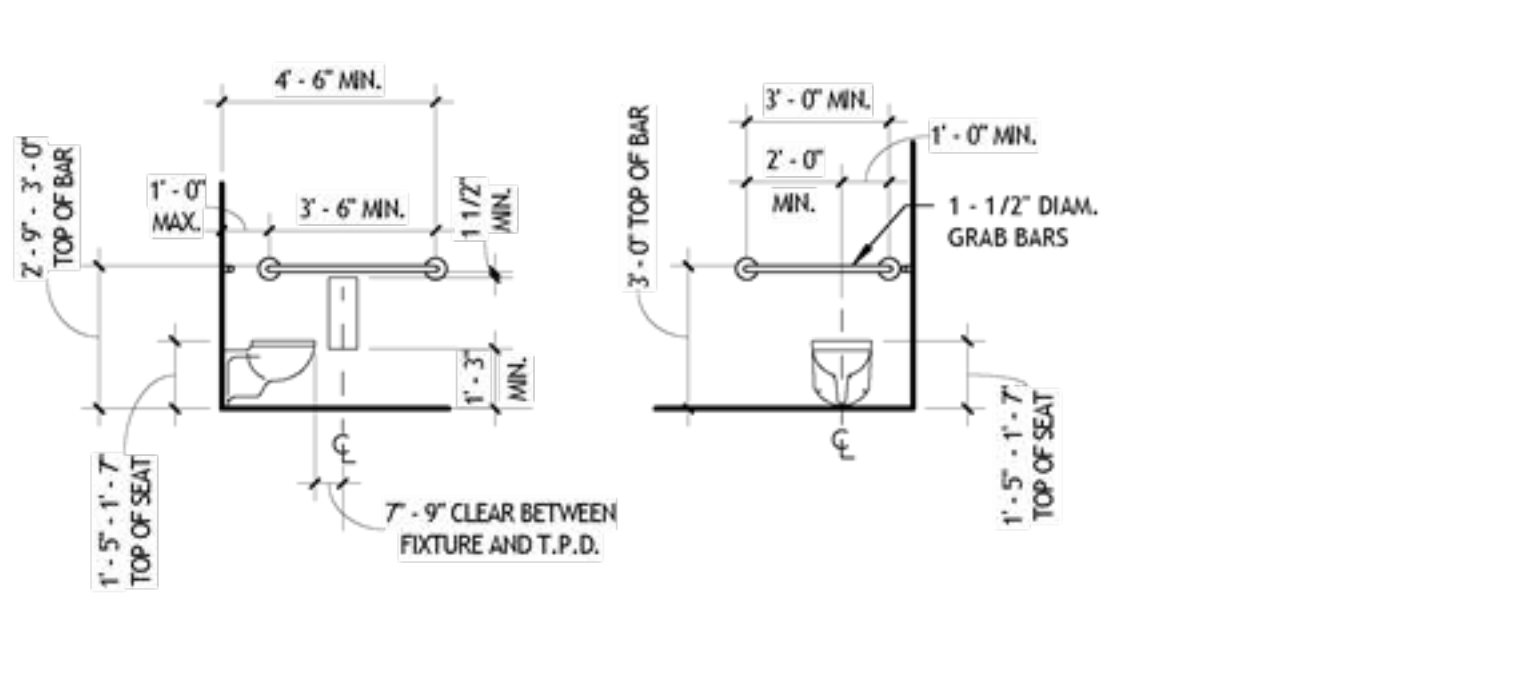
DRINKING FOUNTAINS



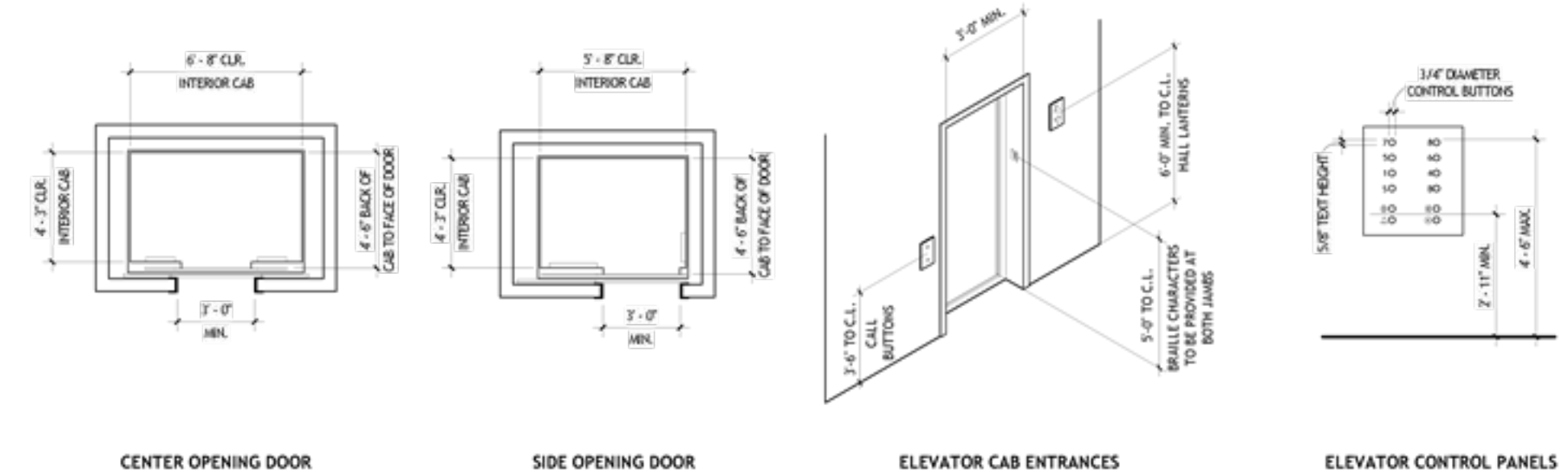
TOILETS (NON STALL)



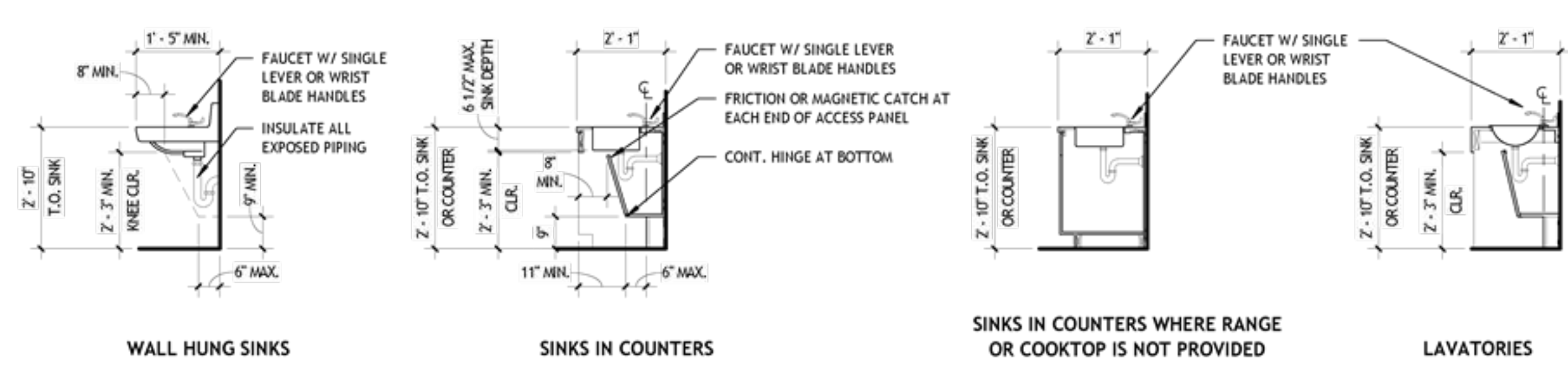
TOILET ELEVATIONS



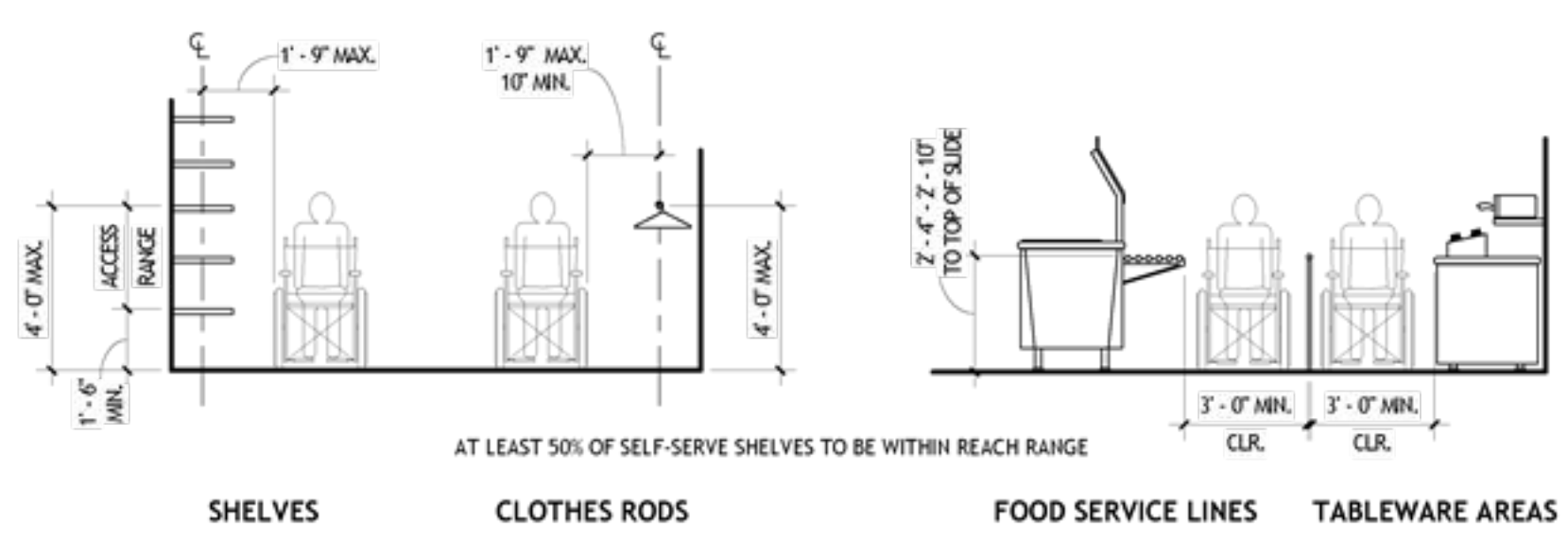
ELEVATORS



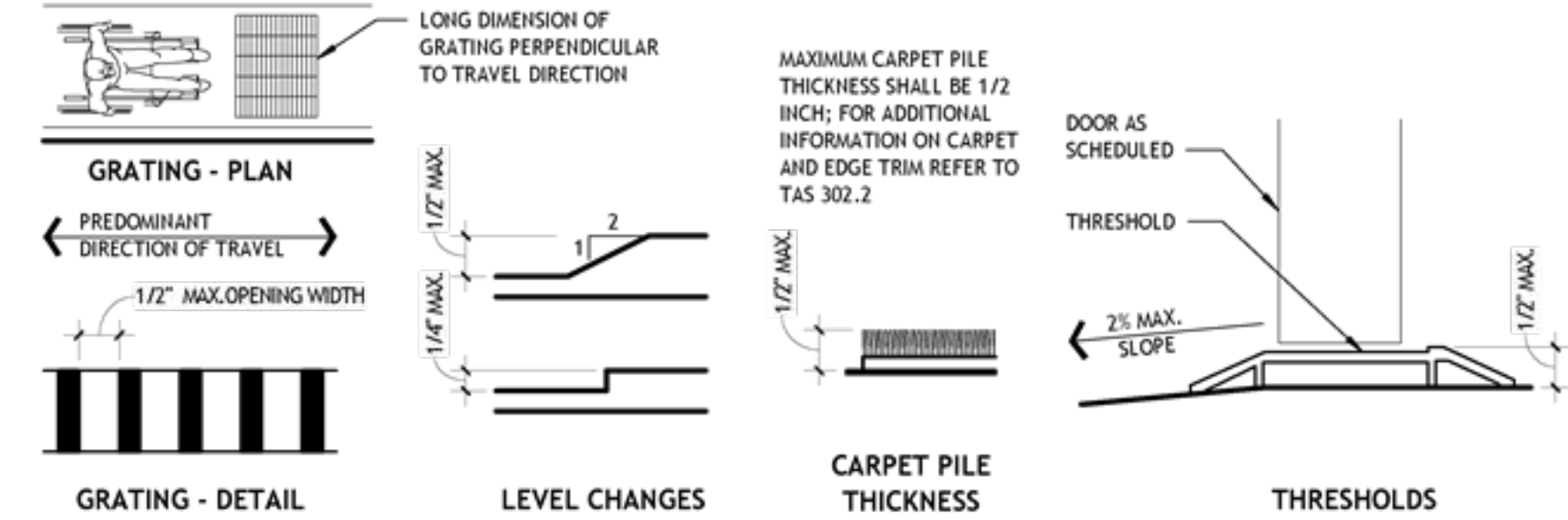
SINK AND LAVATORIES



ACCESSIBLE REACH RANGES



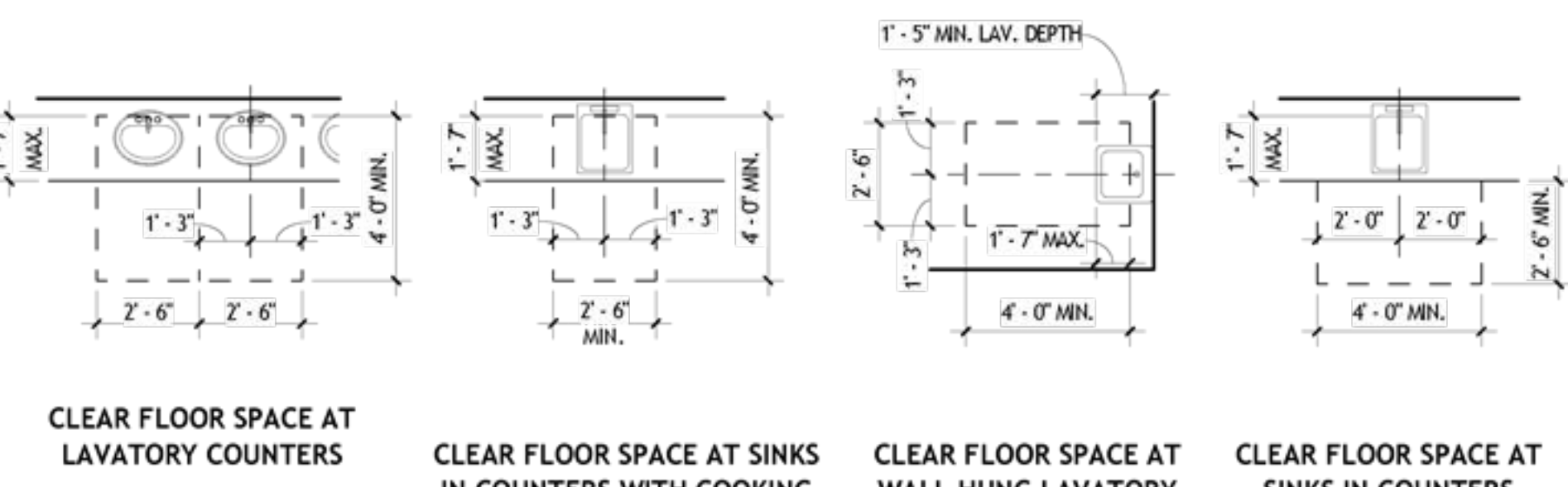
GROUND AND FLOOR SURFACES



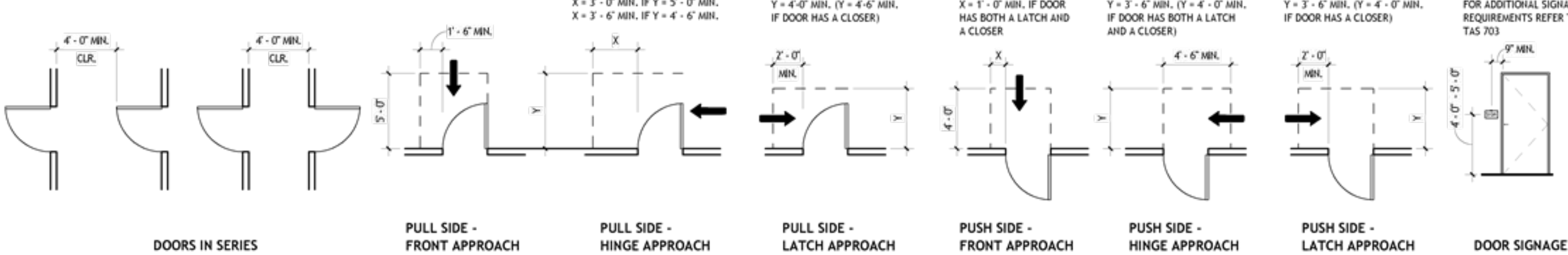
PROTRUDING OBJECTS AND OVERHEAD HAZARDS



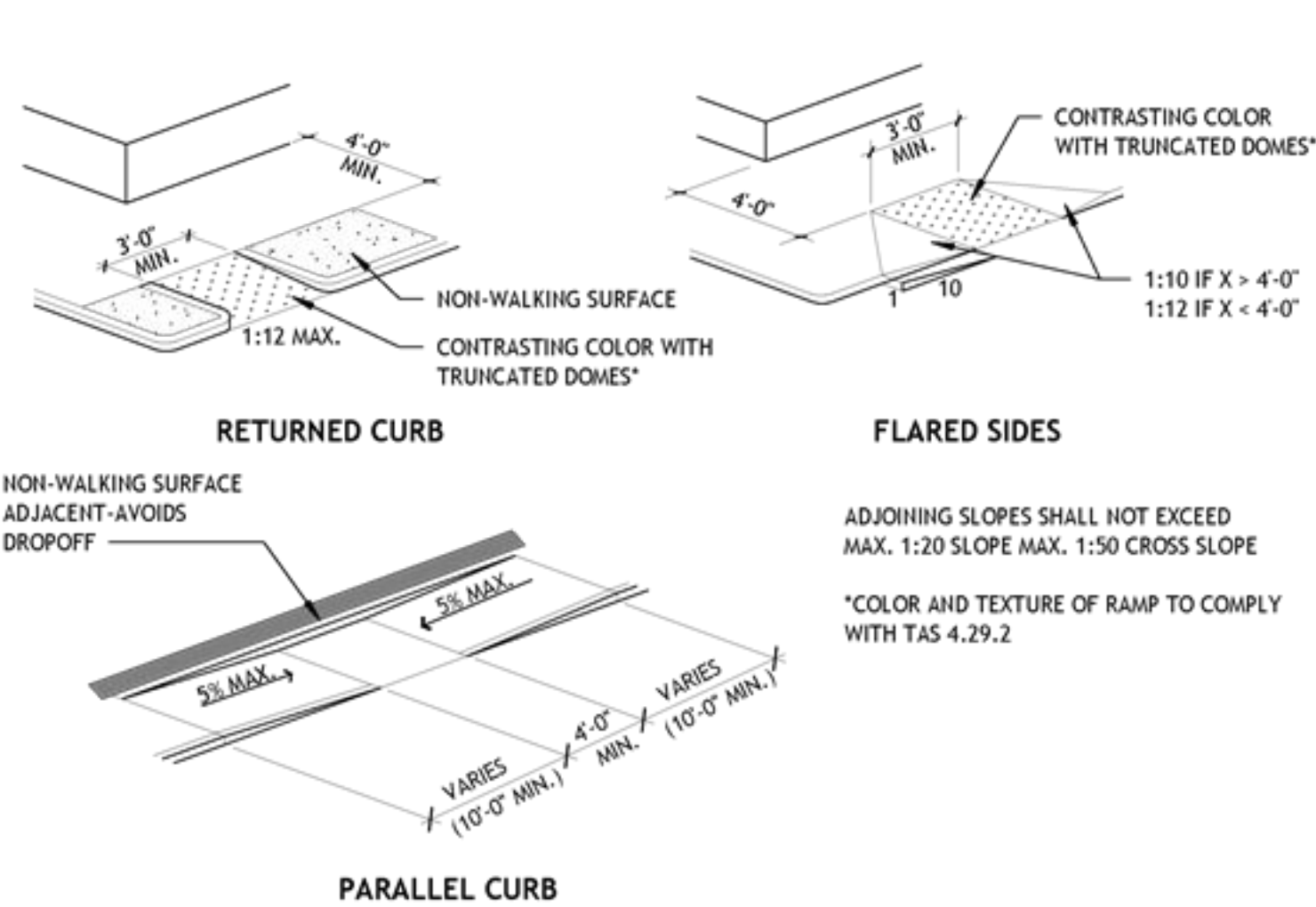
FLOOR CLEARANCES AT LAVATORIES AND SINKS



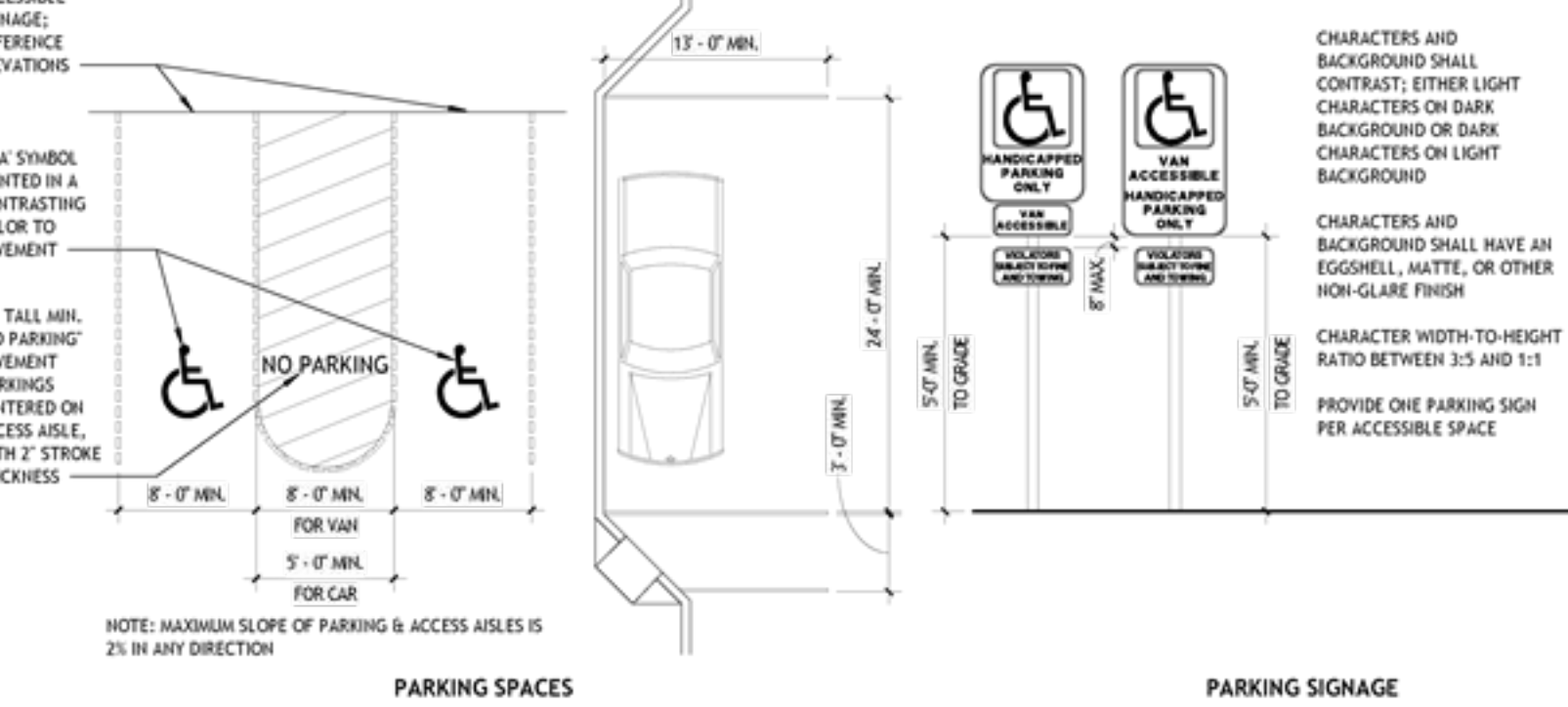
DOOR CLEAR SPACE AND SIGNAGE



CURB RAMPS



PARKING SPACES AND SIGNAGE



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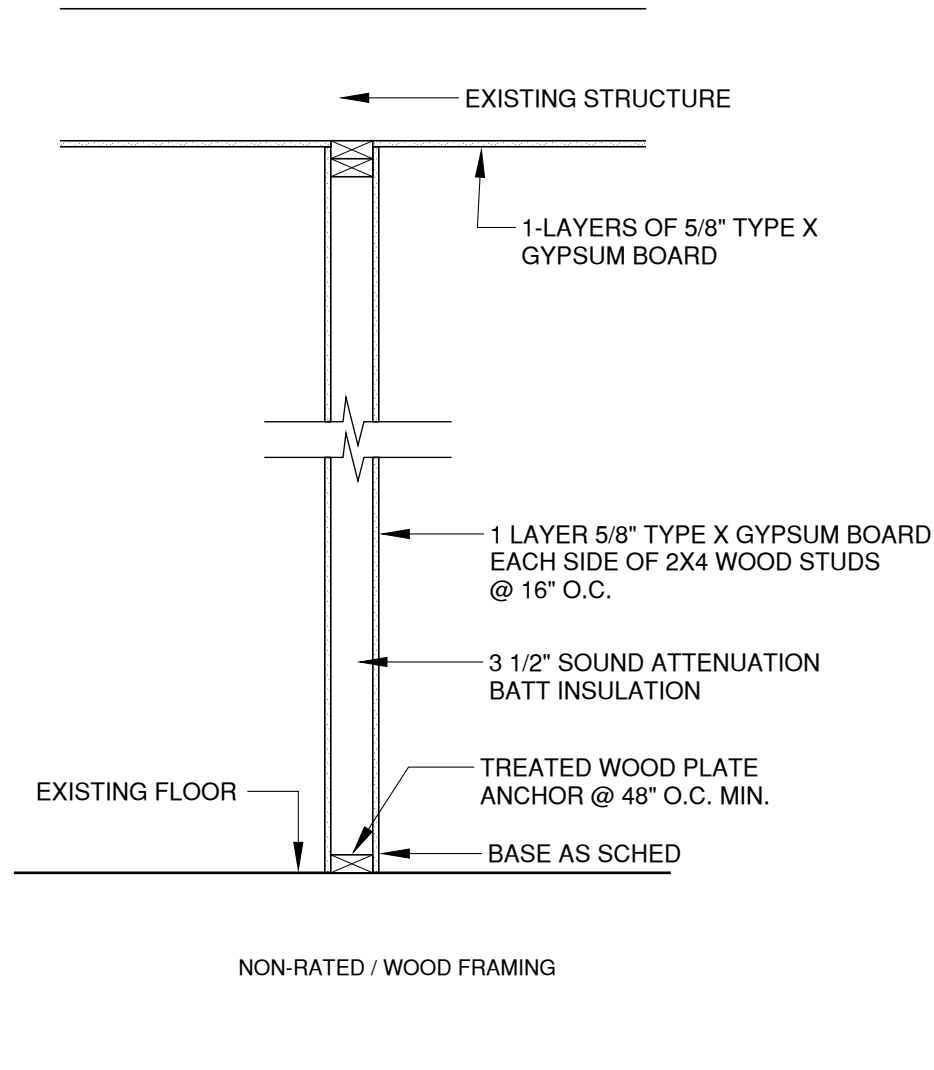
DECEMBER 19, 2025

FILE NAME
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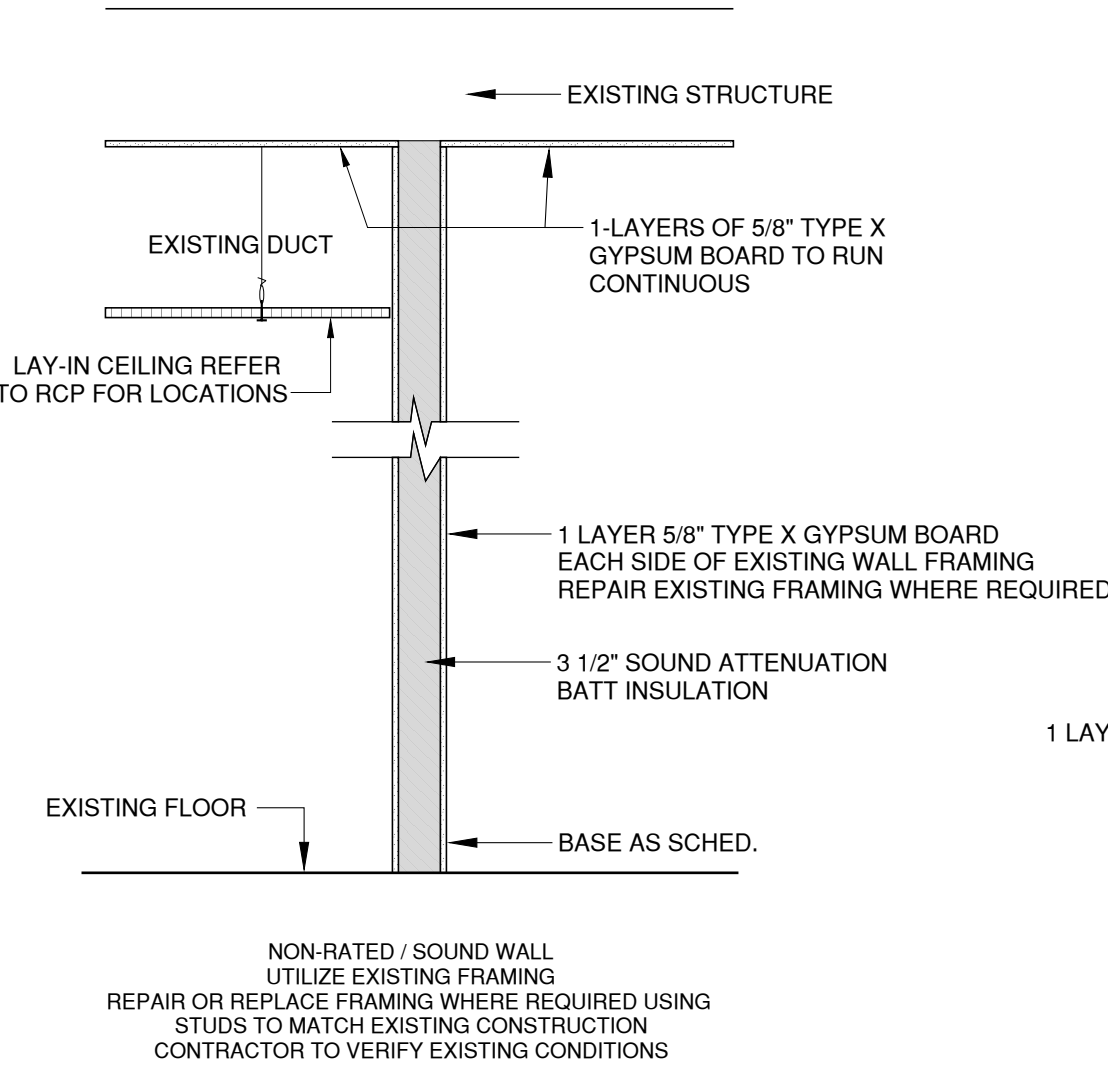
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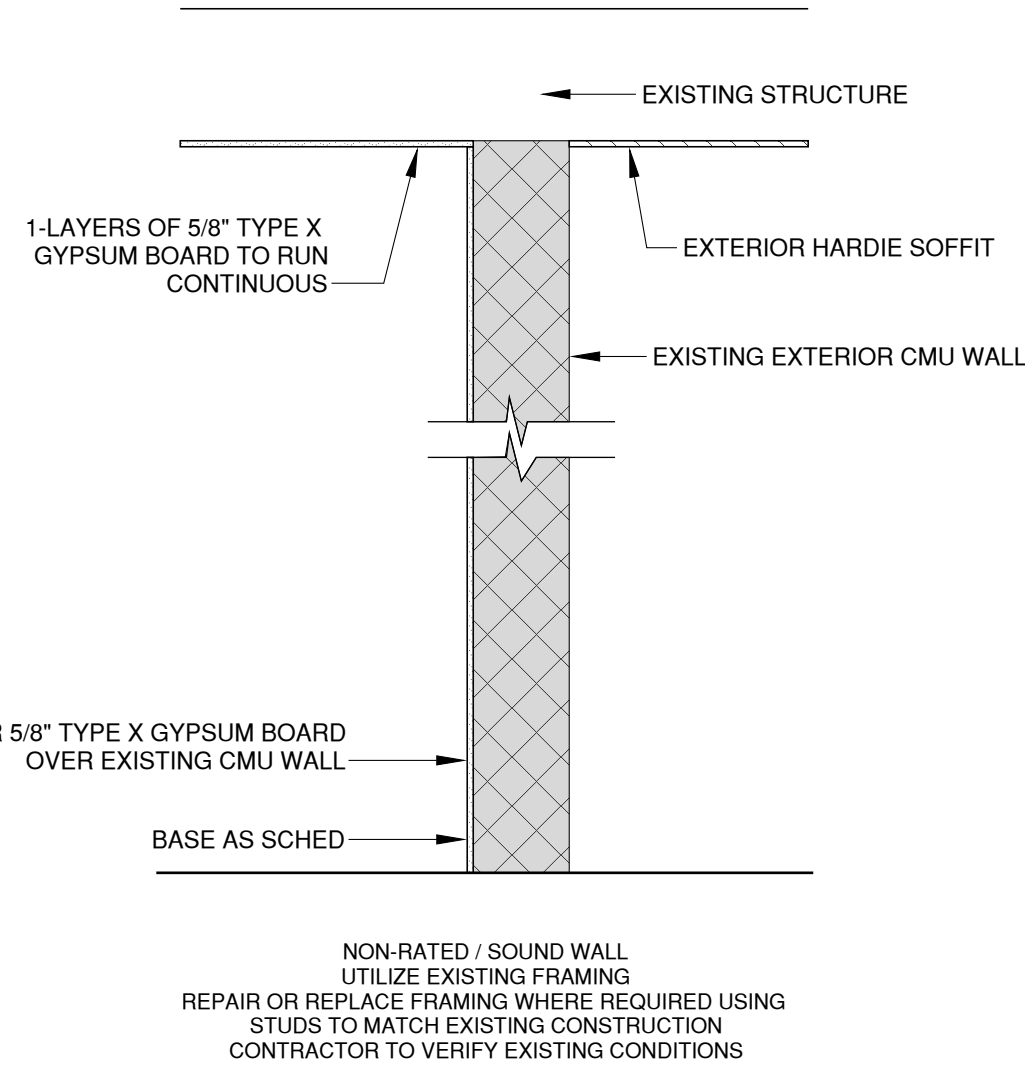
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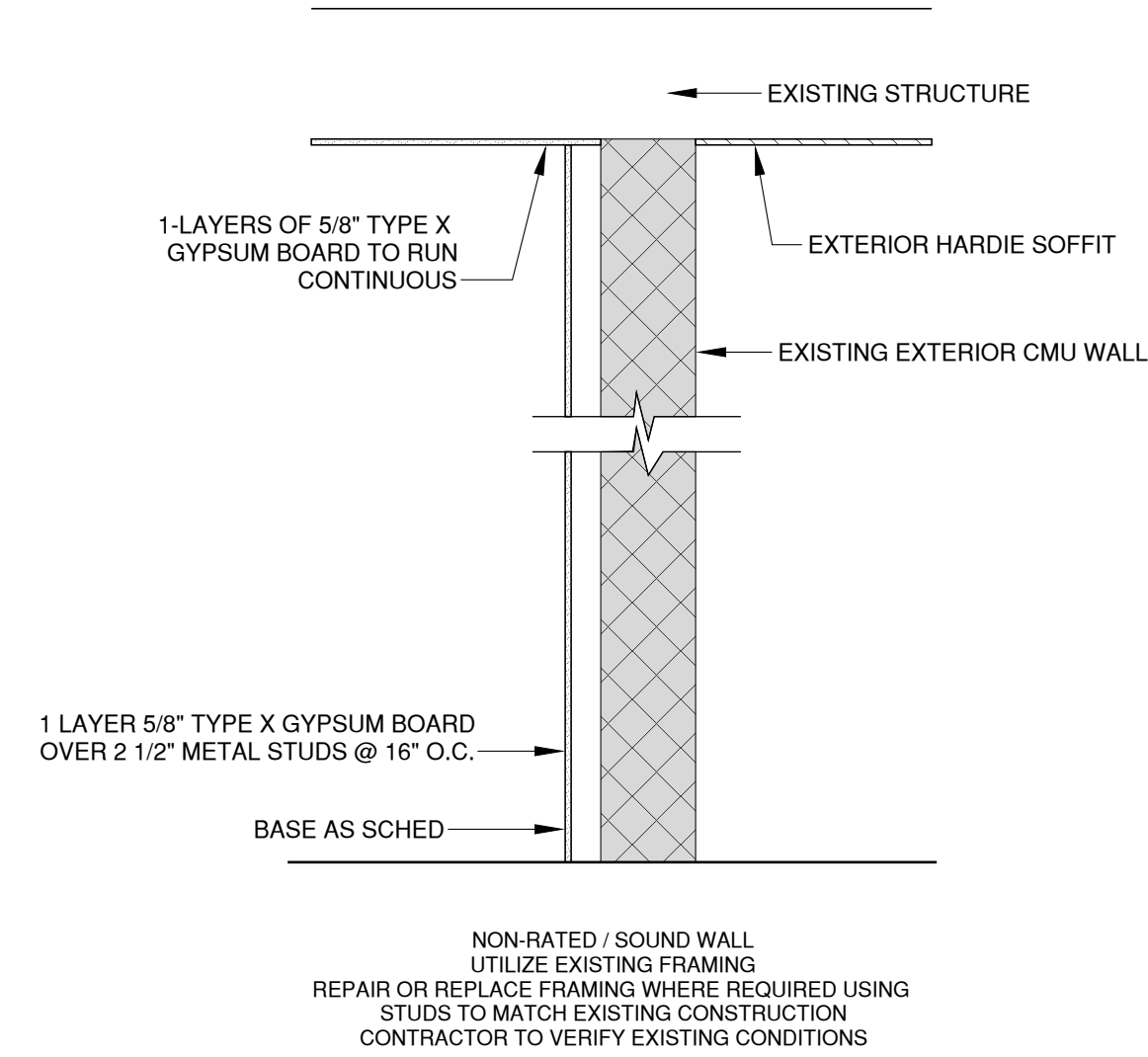
A WALL TYPE
SCALE: 3/4"=1'-0"



B WALL TYPE
SCALE: 3/4"=1'-0"

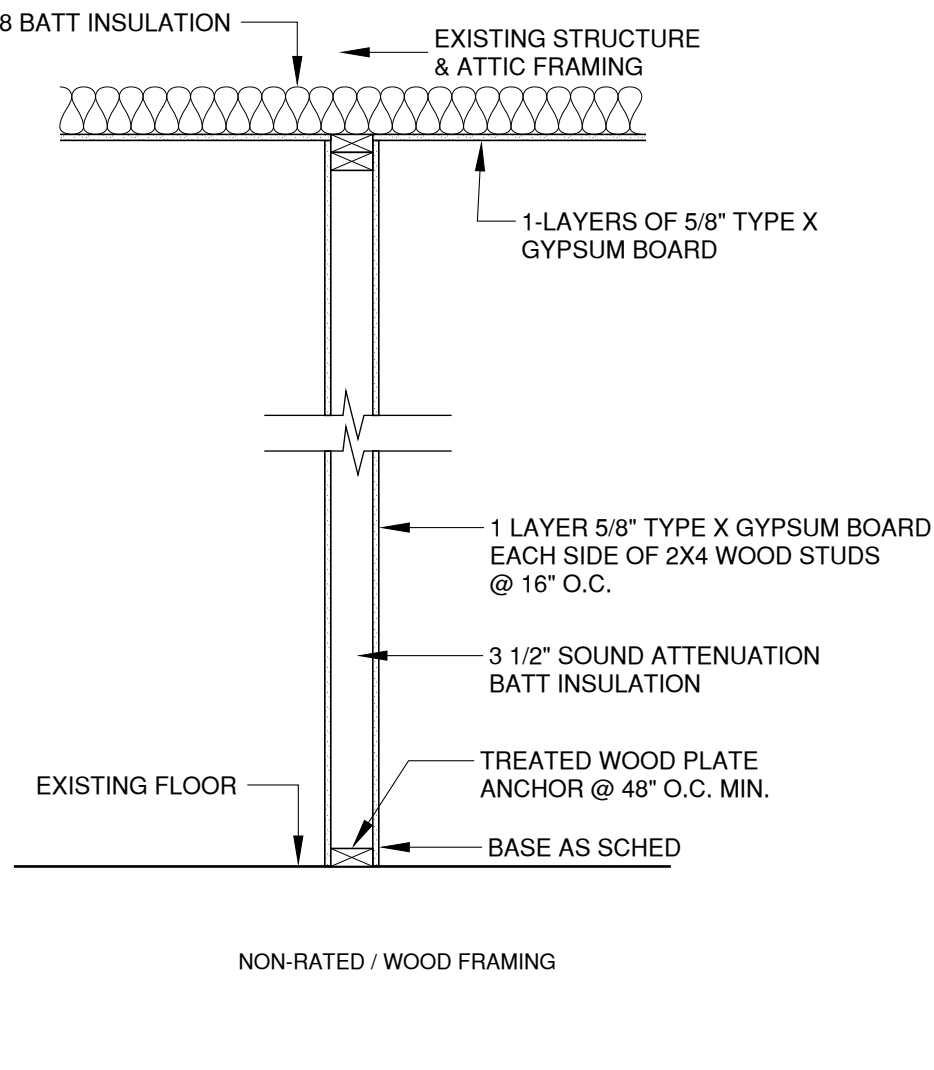


C WALL TYPE
SCALE: 3/4"=1'-0"

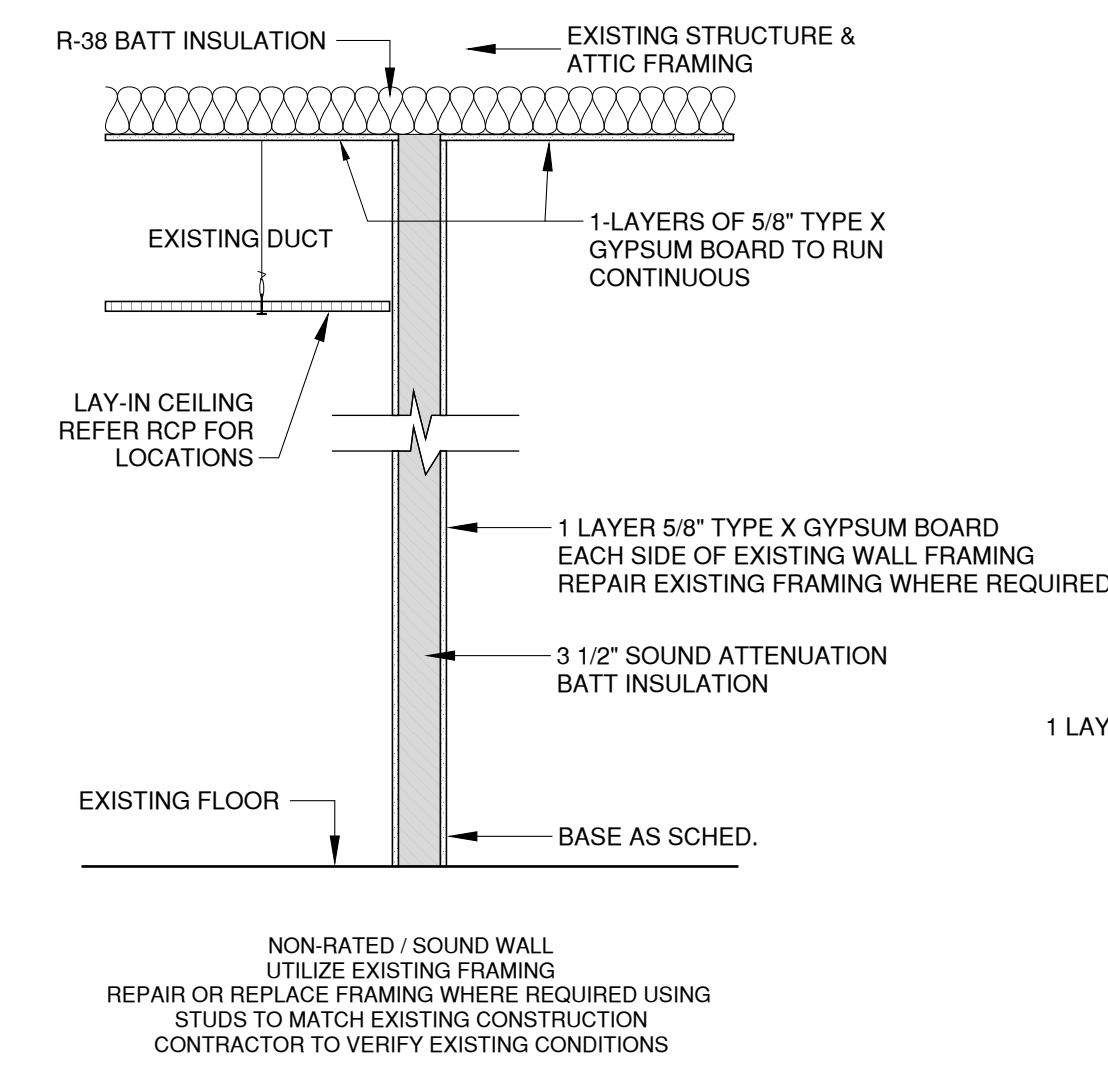


D WALL TYPE
SCALE: 3/4"=1'-0"

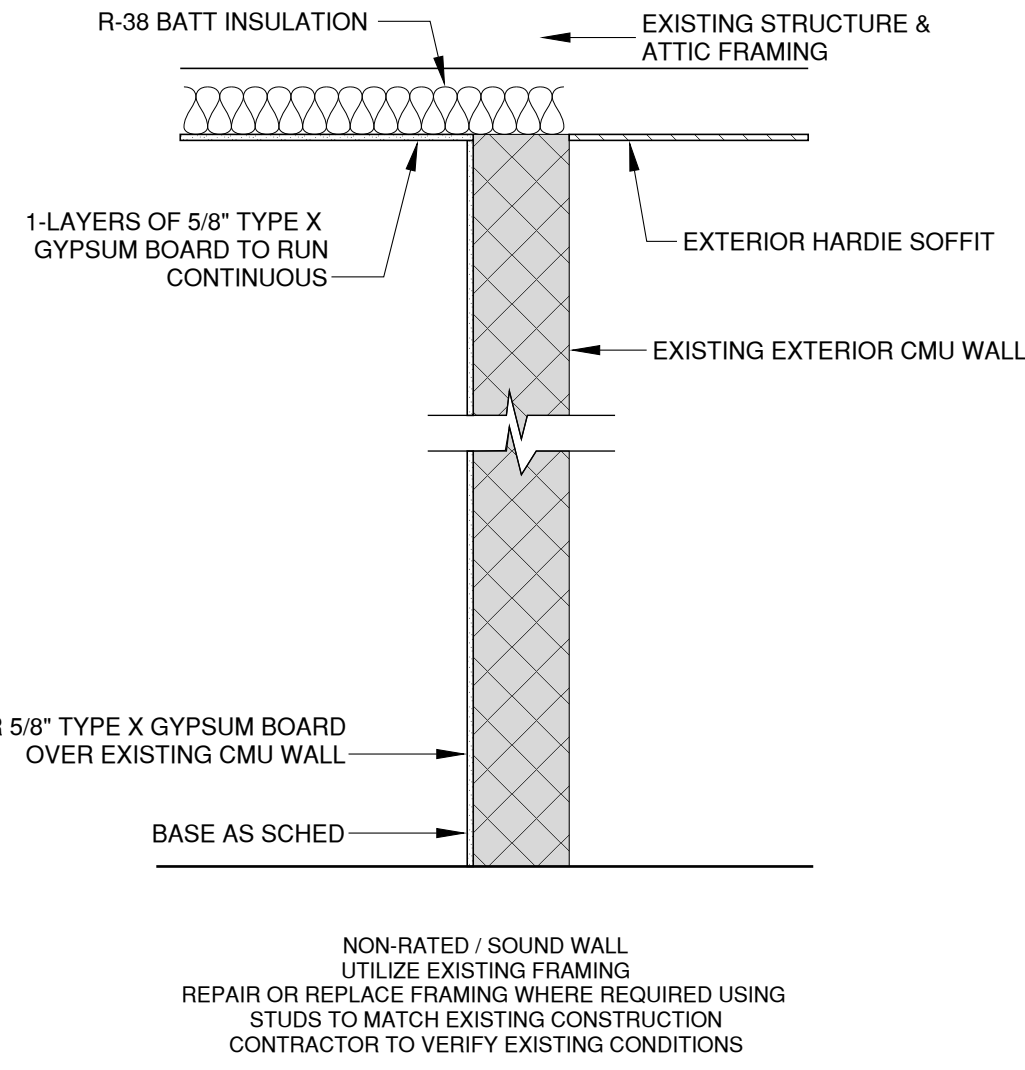
LEVEL ONE WALL TYPES



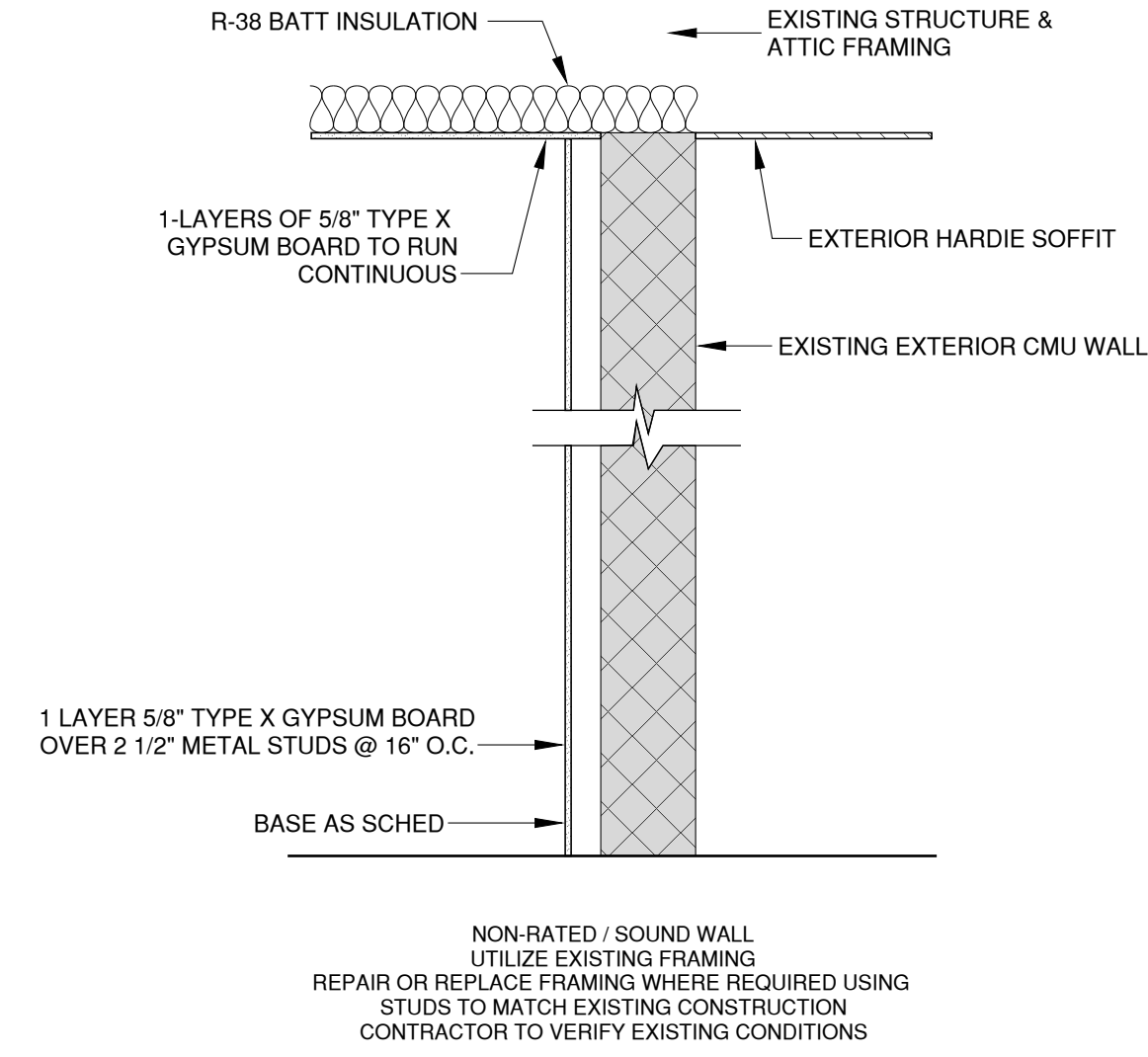
A WALL TYPE
SCALE: 3/4"=1'-0"



B WALL TYPE
SCALE: 3/4"=1'-0"

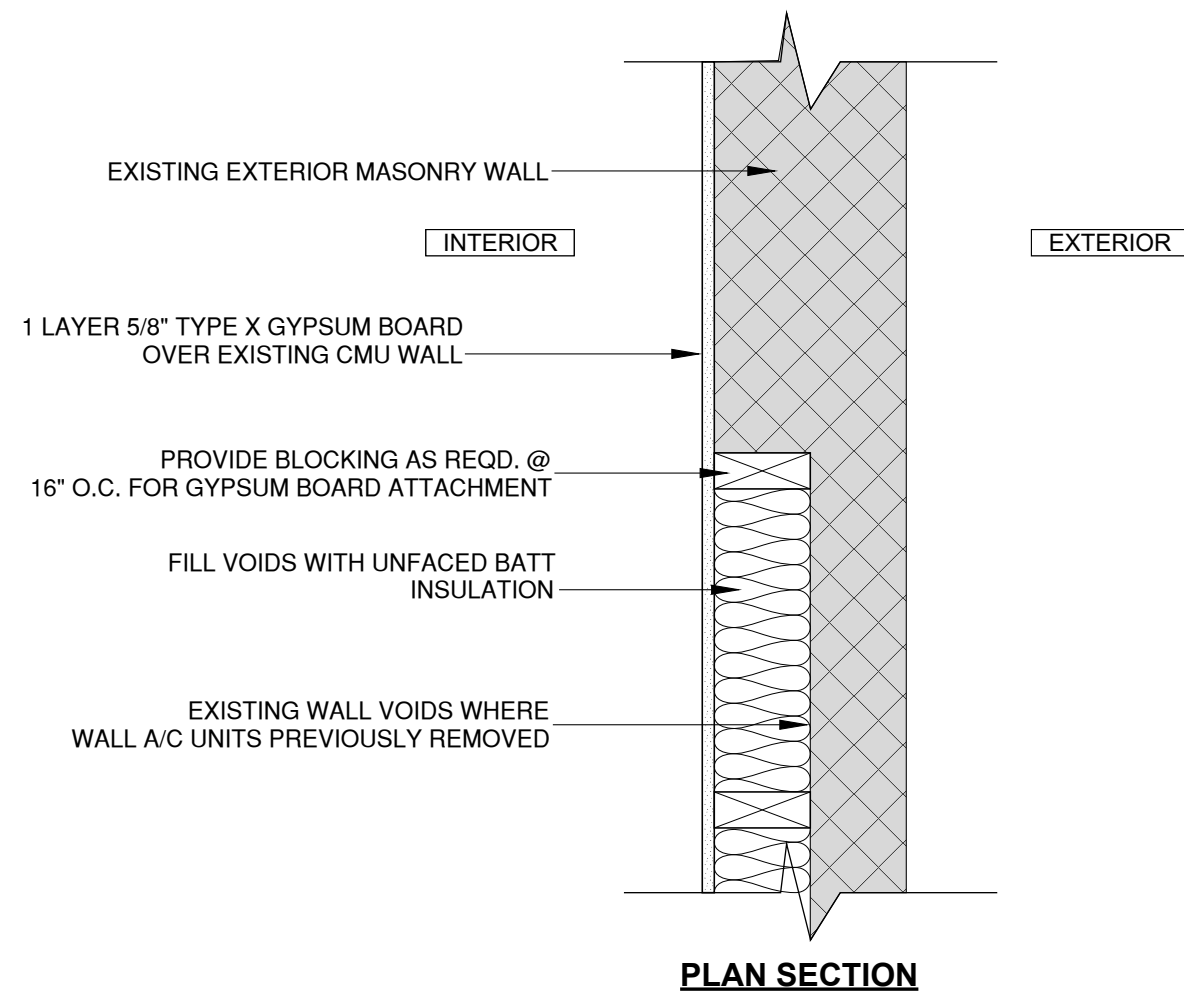


C WALL TYPE
SCALE: 3/4"=1'-0"



D WALL TYPE
SCALE: 3/4"=1'-0"

LEVEL TWO WALL TYPES



1 DETAIL @ WALL VOIDS
SCALE: 1 1/2"=1'-0"

WALL TYPES : GENERAL NOTES

- WALL BRACING:
 - INTERIOR WOOD PARTITIONS BRACE TO STRUCTURE ABOVE @ MAX 48" O.C.
 - PROVIDE STUD BRACE IN LINE WITH ALL WALL MOUNTED DOOR STOPS.
- WALL TREATMENTS:
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS NOT RECEIVING TILE.
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD BEHIND SCHEDULED WALL TILE AT NON-WET WALLS
 - PROVIDE CEMENT BACKER BOARD BEHIND SCHEDULED WALL TILE AT WET WALLS.
 - CONTRACTOR TO PROVIDE SUPPORT BLOCKING IN WALLS FOR HUNG FIXTURES, ACCESSORIES, MILLWORK, ETC. COORDINATE LOCATION OF ITEMS WITH OWNER.
 - CONTRACTOR TO PROVIDE LEVEL 4 FINISH OF GYPSUM BOARD. PROVIDE A LIGHT STIPPLE ROLL TEXTURE UNLESS NOTED OTHERWISE
- FIRE RATED & SMOKE WALLS:
 - PROVIDE A CONTINUOUS BEAD OF ACRYLIC FIRESTOP SEALANT; MINIMUM 5/8" THICKNESS AT TOP AND BOTTOM OF WALL JOINTS ON EACH SIDE OF WALL.
 - PROVIDE FIRESTOP PROTECTION AROUND ALL PENETRATIONS INCLUDING DUCTS, PIPES, BRACING, CONDUIT, ETC.
- SOUND WALLS:
 - PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT THE TOP AND BOTTOM OF WALL JOINTS ON EACH SIDE WHERE APPLICABLE.
 - PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL SEALANT AROUND ALL PENETRATIONS; EACH SIDE, WHERE VOIDS GREATER THAN 1/2" PACK W/ 1.5 PCF FIBERGLASS INSULATION AND CAULK AIRTIGHT.
 - STAGGER OUTLET BOXES ON OPPOSITE SIDES BY TWO STUD WIDTHS; APPLY ACOUSTICAL SEALANT TO BOX OPENINGS.
- GYPSUM BOARD CEILINGS:
 - GYPSUM BOARD CEILINGS TO UTILIZE EXISTING FRAMING TO PROVIDE A CONTINUOUS FINISH CEILING; PROVIDE BLOCKING AS REQUIRED FOR ALL CEILING DEVICES.

REFER TO A-710 & A-711 FOR TYPICAL LIGHT GAUGE METAL FRAMING DETAILS

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**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS**

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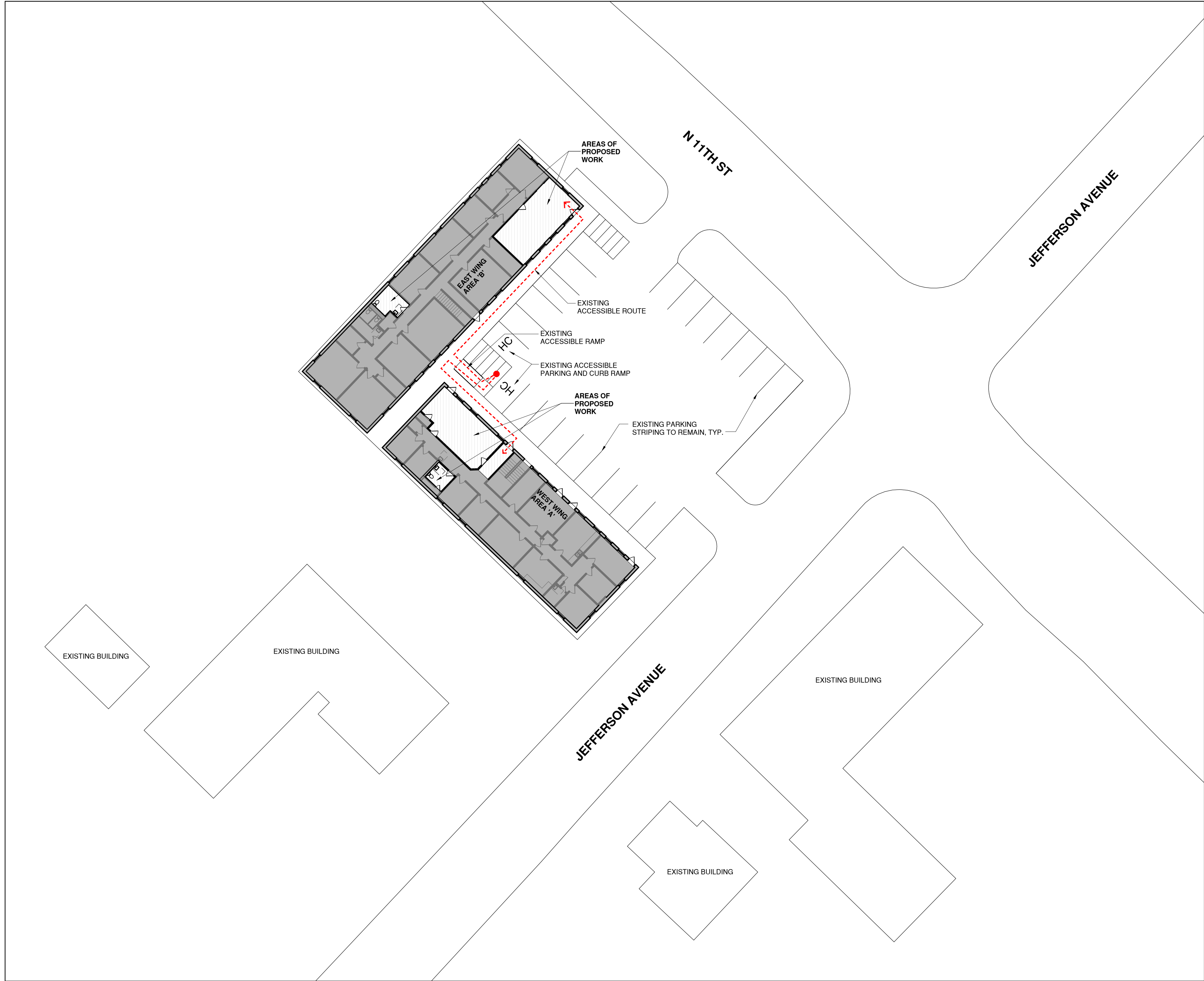
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**CODE SUMMARY &
LIFE SAFETY PLANS**

G-002



1 SITE PLAN

SCALE: 1"=20'-0"

GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE FOR LOCATION OF PROPERTY LINES, BUILDING SETBACKS AND UNDERGROUND UTILITIES WHERE APPLICABLE TO PROJECT SCOPE OF WORK.
2. PROPERTY LINES, UTILITIES AND ALL SITE IMPROVEMENTS ARE SCHEMATIC IN NATURE. ITEMS INDICATED ON THIS PLAN ARE USED FOR DESIGN INTENT ONLY. ITEMS SHOWN ARE GENERATED FROM GOOGLE EARTH DATA / MCLENNAN CAD AND DO NOT REPRESENT AN ON THE GROUND SURVEY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND COORDINATING WORK WITH ALL ITEMS NECESSARY AS DEFINED WITHIN THE PROJECT SCOPE.

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BEHAVIORAL HEALTH NETWORK KLARAS CENTER FOR FAMILIES INTERIOR RENOVATION 1105 JEFFERSON AVE, WACO TEXAS

MATERIAL PLAN KEY

- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
- NEW PARTITION
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

- XXX REFER TO DOOR SCHEDULE
- X REFER TO WINDOW SCHEDULE
- X REFER TO WALL TYPE SCHEDULE FOR PARTITIONS

DIMENSION KEY

- 4'-0" DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
- 4'-0" DIMENSION - DENOTING CENTERLINE / STRUCTURAL GRID
- 4'-0" DIMENSION - DENOTING FACE OF FINISH / CLEAR

Contractor shall be responsible for reviewing all plans and specifications & verifying all existing conditions prior to proceeding with construction.

Contractor shall comply with all applicable building codes and notify the Architect immediately of any discrepancies or conflicts.

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ISSUE DATE

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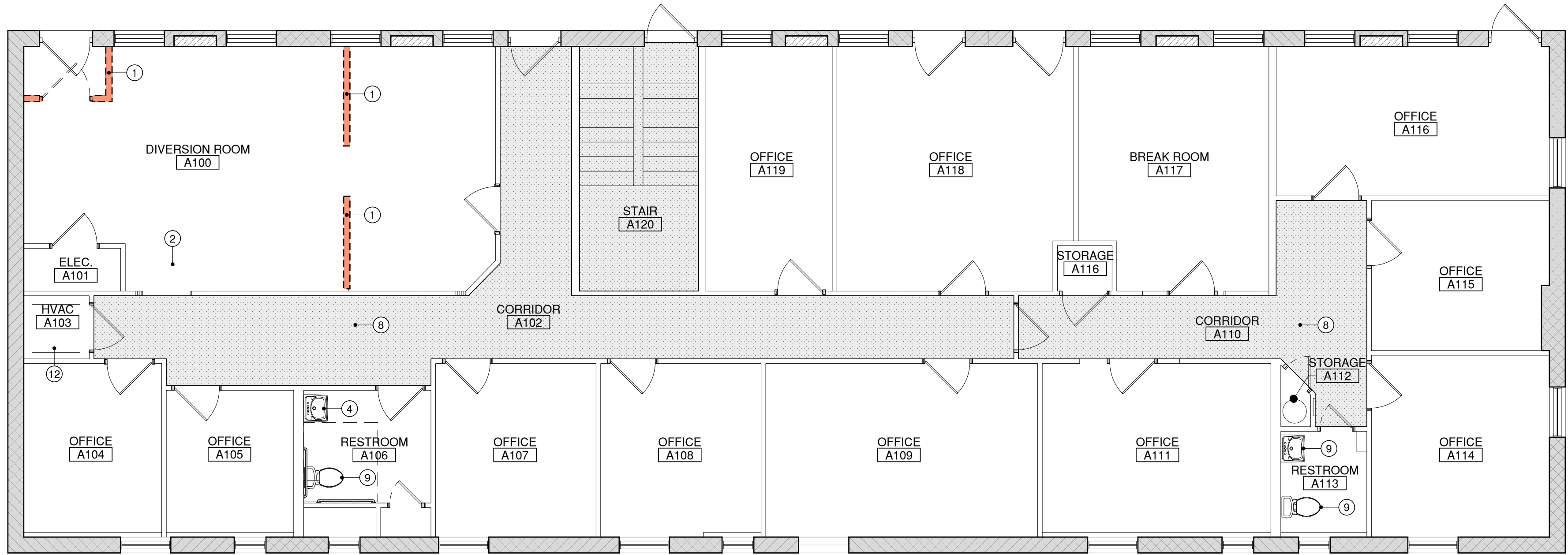
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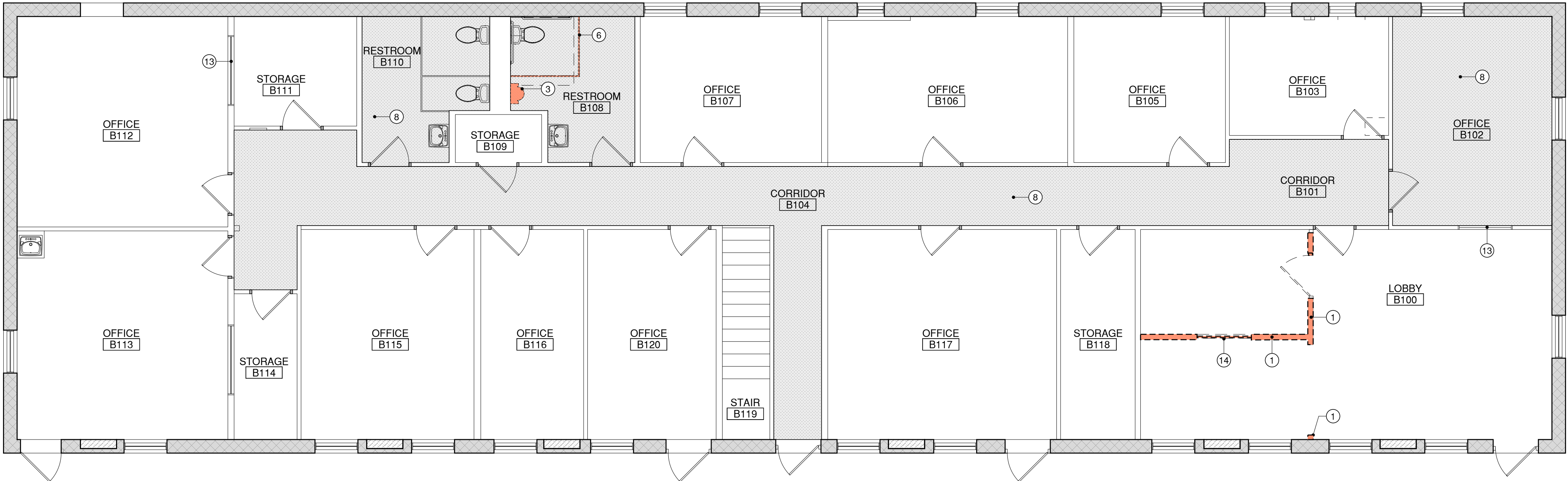
SITE PLAN

A-100

EAST WING BUILDING

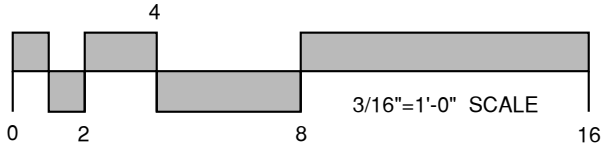


1 DEMOLITION PLAN - WEST WING
SCALE: 3/16"=1'-0"
LEVEL ONE



WEST WING BUILDING

2 DEMOLITION PLAN - EAST WING
SCALE: 3/16"=1'-0"
LEVEL ONE



DEMOLITION KEYNOTES	
1	DEMO EXISTING INTERIOR WALL(S) AS INDICATED
2	REMOVE EXISTING DOOR & SALVAGE FOR REUSE
3	REMOVE EXISTING PLUMBING FIXTURE. CAP AS REQUIRED.
4	REMOVE AND RELOCATE FIXTURE. REF. 1/A500 FOR NEW LOCATION
5	EXISTING STAIR & RAILING TO REMAIN
6	DEMO EXISTING TOILET PARTITION
7	EXISTING RAILING TO REMAIN
8	EXISTING FLOOR TO REMAIN. PROTECT
9	EXISTING PLUMBING TO REMAIN
10	EXISTING TOILET ACCESSORIES TO REMAIN
11	EXISTING WATER HEATER TO REMAIN
12	EXISTING MECHANICAL TO REMAIN
13	EXISTING WINDOW TO REMAIN
14	DEMO EXISTING WINDOW

- GENERAL DEMO NOTES:
- EXISTING INTERIOR CONDITIONS ARE POST-ABATEMENT DEMOLITION. CONTRACTOR TO VISIT THE SITE TO REVIEW EXISTING CONDITIONS PRIOR TO BIDDING.
 - REMOVE ALL EXISTING FINISHES WHERE NEW FINISHES ARE SCHEDULED
 - WHERE WALLS ARE INDICATED TO BE DEMOLISHED; REMOVE ALL AFFECTED ELECTRICAL WITHIN THE SCOPE OF THE DEMOLISHED AREA. REMOVE ALL NON-REMAINING WIRING & CAP ABOVE CEILING. REMOVE ALL NON-REMAINING ELECTRICAL OUTLETS, DATA OUTLETS, TV OUTLETS, ECT.
 - REMOVE EXISTING INTERIOR LIGHTS & CAP AFFECTED WIRING AS REQUIRED. NEW LIGHTS TO BE INSTALLED THROUGHOUT AT ALL LOCATIONS WHERE EXISTING LIGHTS HAVE BEEN REMOVED. REFER RCP PLANS FOR LOCATIONS.
 - REMOVE ALL EXISTING FLOORING & SCRAPE CLEAR TO STRUCTURAL FLOOR WHERE NEW FLOOR FINISHES ARE INDICATED
 - WHERE DEMOLITION PLANS INDICATE THE REMOVAL OR RELOCATION OF PLUMBING FIXTURES, REMOVE & CAP ALL NON-REQUIRED PLUMBING AS REQUIRED.
 - FIELD VERIFY LOCATIONS OF ALL LOAD BEARING STRUCTURES AND WALLS PRIOR TO DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY BRACE UNTIL LOAD IS SUPPORTED AS REQUIRED
 - SALVAGE ANY MATERIALS AS DIRECTED BY OWNER & STORE FOR RE-USE ON SITE IN PROTECTED LOCATION.
 - ALL BUILT-IN FURNISHINGS TO BE REMOVED BY CONTRACTOR UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WINDOWS TO REMAIN UNLESS NOTED OTHERWISE

MATERIAL PLAN KEY

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN. REFER WALL TYPES FOR FINISH
- NEW PARTITION, REFER WALL TYPES
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

- XXX REFER TO DOOR SCHEDULE
- X REFER TO WINDOW SCHEDULE
- X REFER TO G-100 FOR WALL TYPES

DIMENSION KEY

- 4'-0" DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
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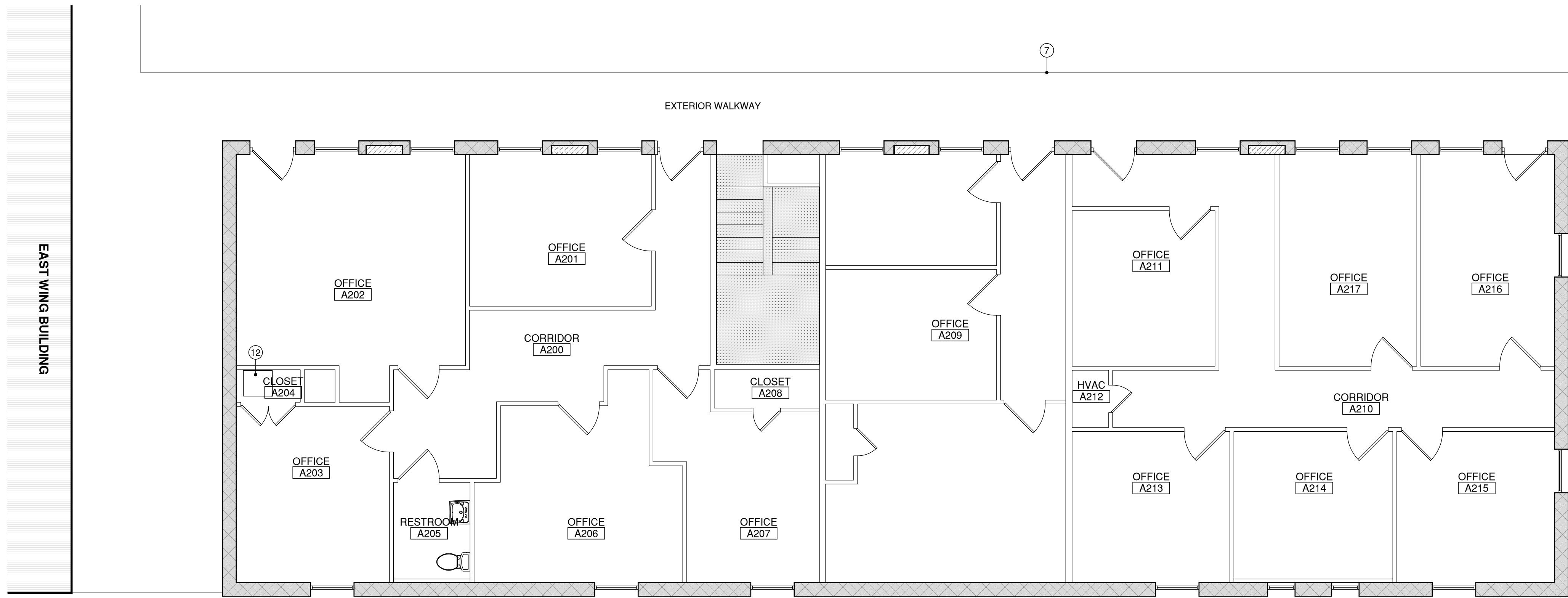
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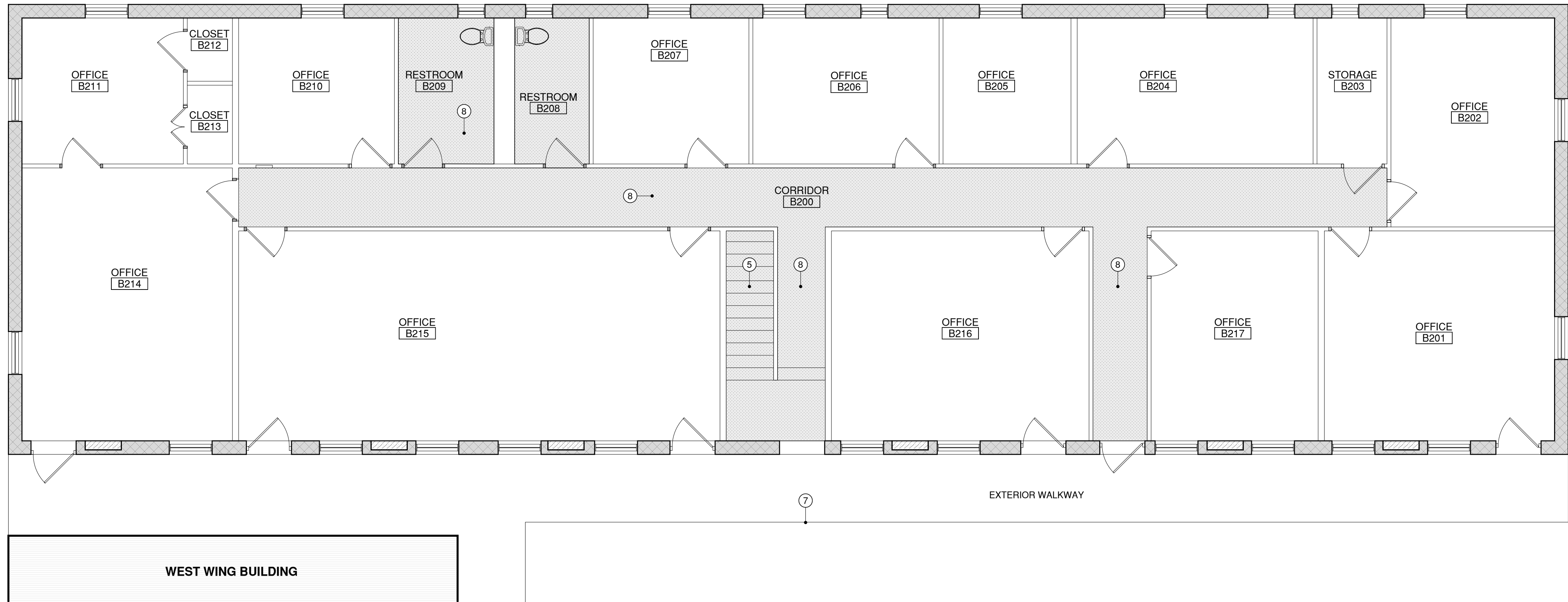
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DEMO PLAN

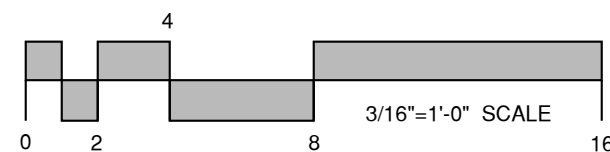
A-200



1 EXISTING PLAN - WEST WING
SCALE: 3/16"=1'-0"
LEVEL TWO



2 EXISTING - EAST WING
SCALE: 3/16"=1'-0"
LEVEL TWO



DEMOLITION KEYNOTES	
1	DEMO EXISTING INTERIOR WALL(S) AS INDICATED
2	REMOVE EXISTING DOOR & SALVAGE FOR REUSE
3	REMOVE EXISTING PLUMBING FIXTURE. CAP AS REQUIRED.
4	REMOVE AND RELOCATE FIXTURE. REF. 1/A500 FOR NEW LOCATION
5	EXISTING STAIR & RAILING TO REMAIN
6	DEMO EXISTING TOILET PARTITION
7	EXISTING RAILING TO REMAIN
8	EXISTING FLOOR TO REMAIN. PROTECT
9	EXISTING PLUMBING TO REMAIN
10	EXISTING TOILET ACCESSORIES TO REMAIN
11	EXISTING WATER HEATER TO REMAIN
12	EXISTING MECHANICAL TO REMAIN
13	EXISTING WINDOW TO REMAIN
14	DEMO EXISTING WINDOW

GENERAL DEMO NOTES:

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- ALL EXTERIOR WINDOWS TO REMAIN UNLESS NOTED OTHERWISE

MATERIAL PLAN KEY

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN. REFER WALL TYPES FOR FINISH
- NEW PARTITION, REFER WALL TYPES
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PLAN NOTES

- XXX REFER TO DOOR SCHEDULE
- X REFER TO WINDOW SCHEDULE
- X REFER TO G-100 FOR WALL TYPES

DIMENSION KEY

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KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS

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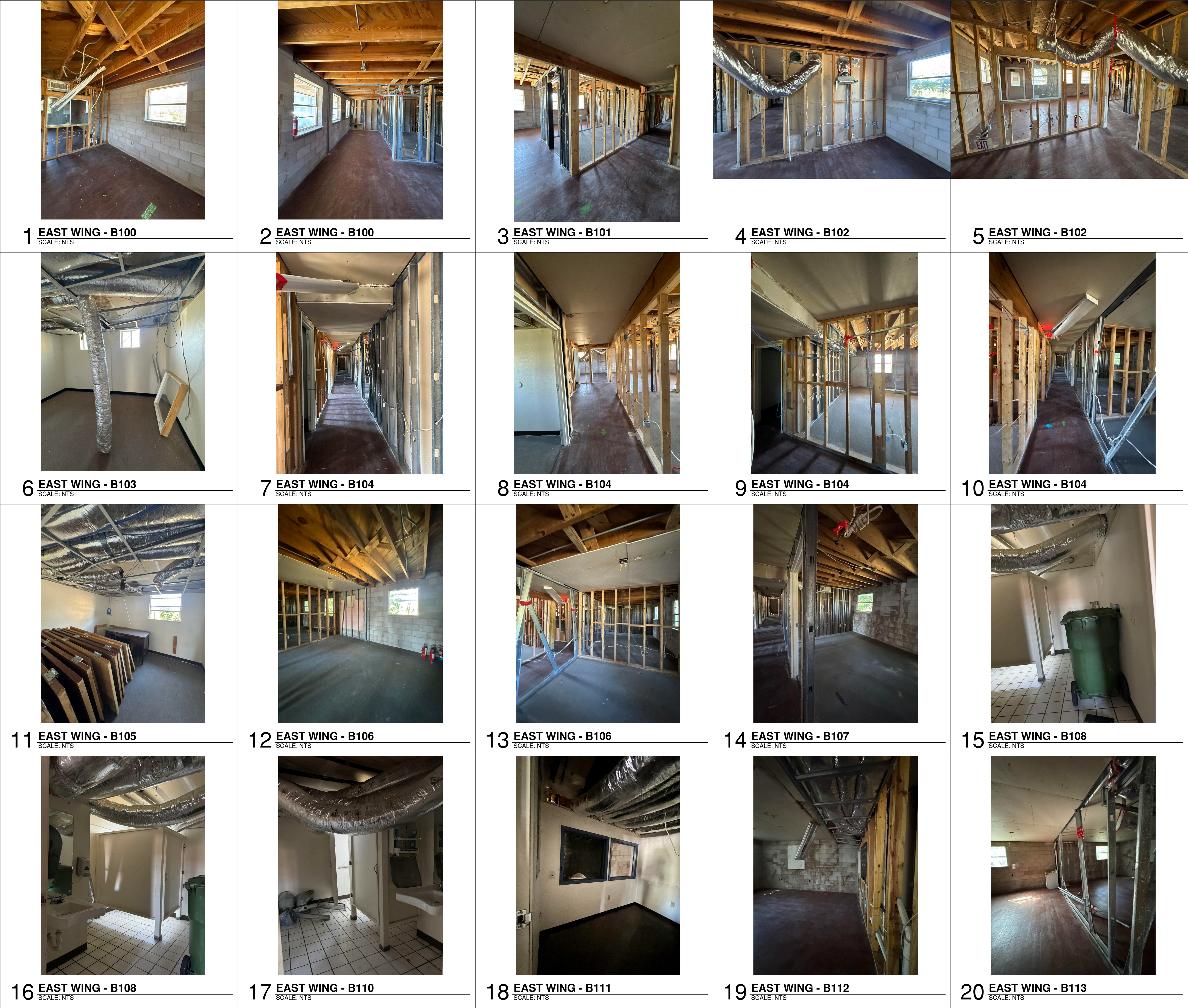
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December 29, 2025

REVISION

DEMO PLAN

A-201





1 EAST WING - B115
SCALE: NTS



2 EAST WING - B116
SCALE: NTS



3 EAST WING - B117
SCALE: NTS



4 EAST WING - B117 / B104
SCALE: NTS



5 EAST WING - B119
SCALE: NTS



6 WEST WING - A100
SCALE: NTS



7 WEST WING - A100
SCALE: NTS



8 WEST WING - A100
SCALE: NTS



9 WEST WING - A100
SCALE: NTS



10 WEST WING - A100
SCALE: NTS



11 WEST WING - A102
SCALE: NTS



12 WEST WING - A102 / A107
SCALE: NTS



13 WEST WING - A104 / A105
SCALE: NTS



14 WEST WING - A105
SCALE: NTS



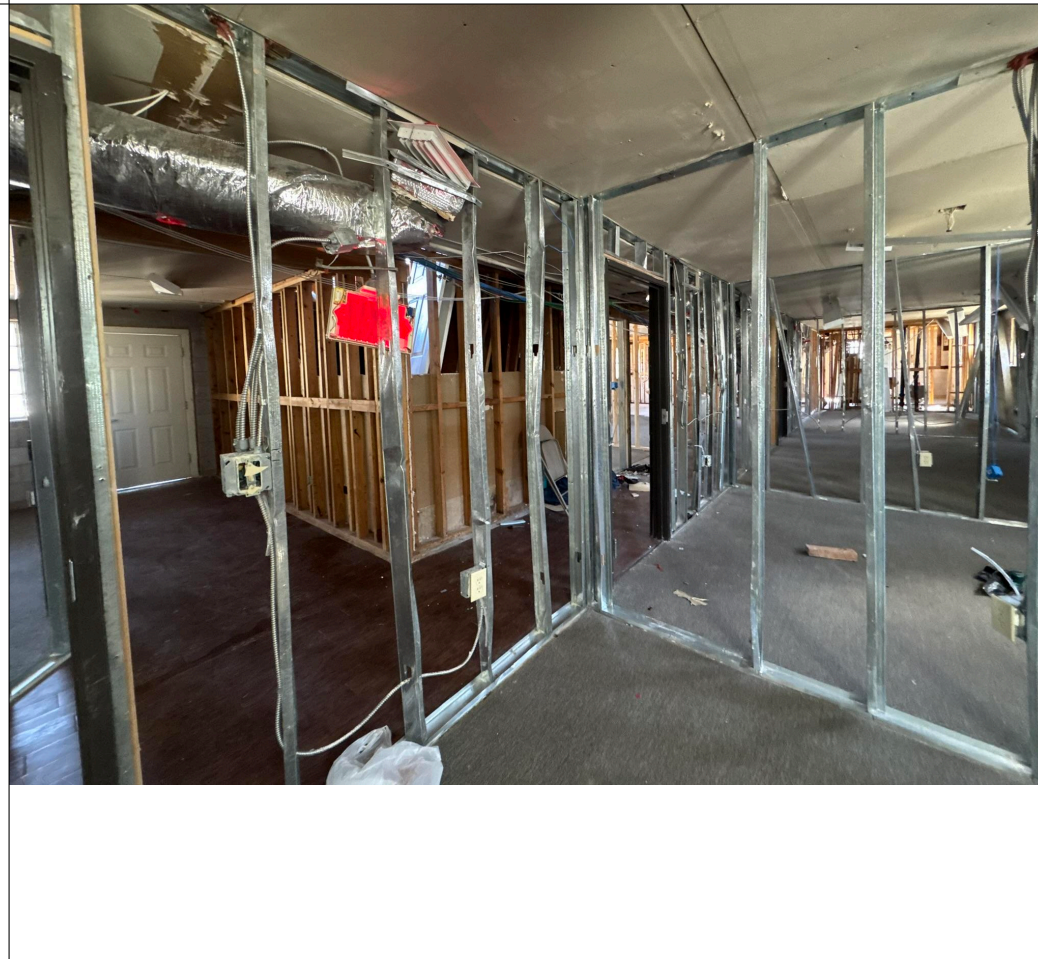
15 WEST WING - A105
SCALE: NTS



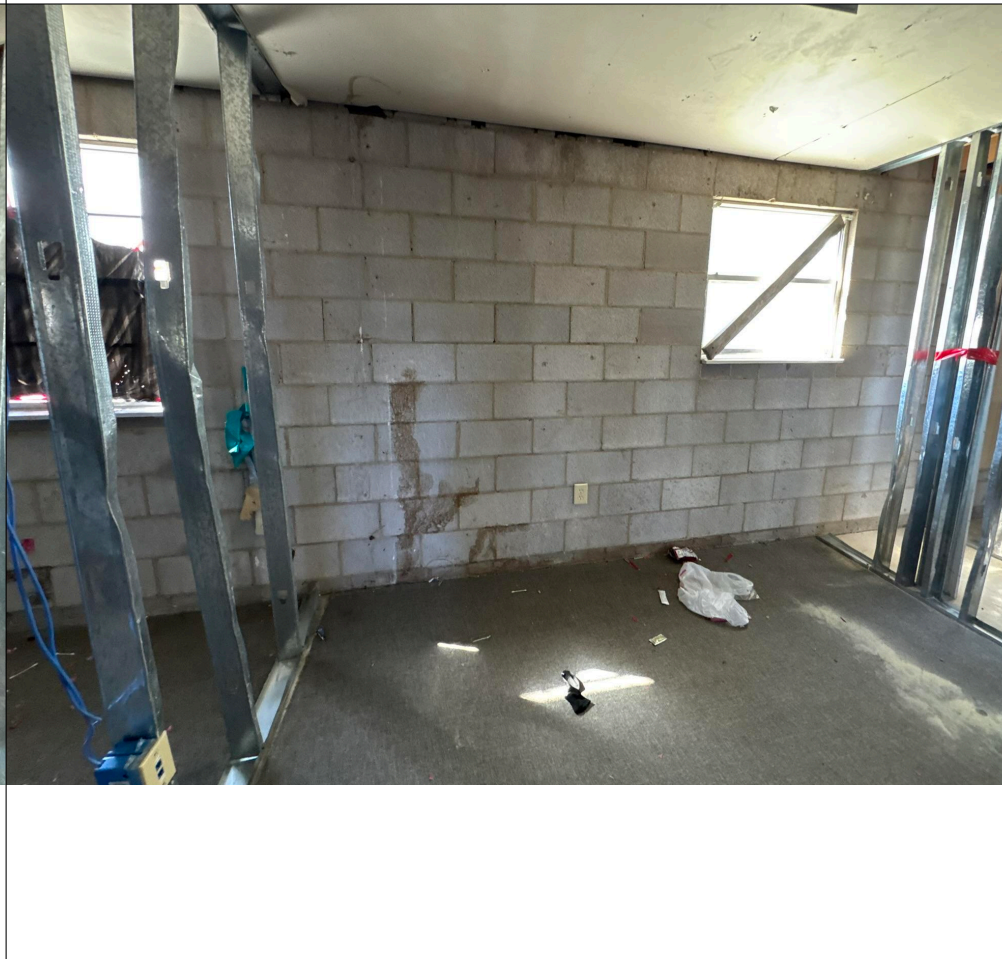
16 WEST WING - A106
SCALE: NTS



17 WEST WING - A106
SCALE: NTS



18 WEST WING - A107
SCALE: NTS

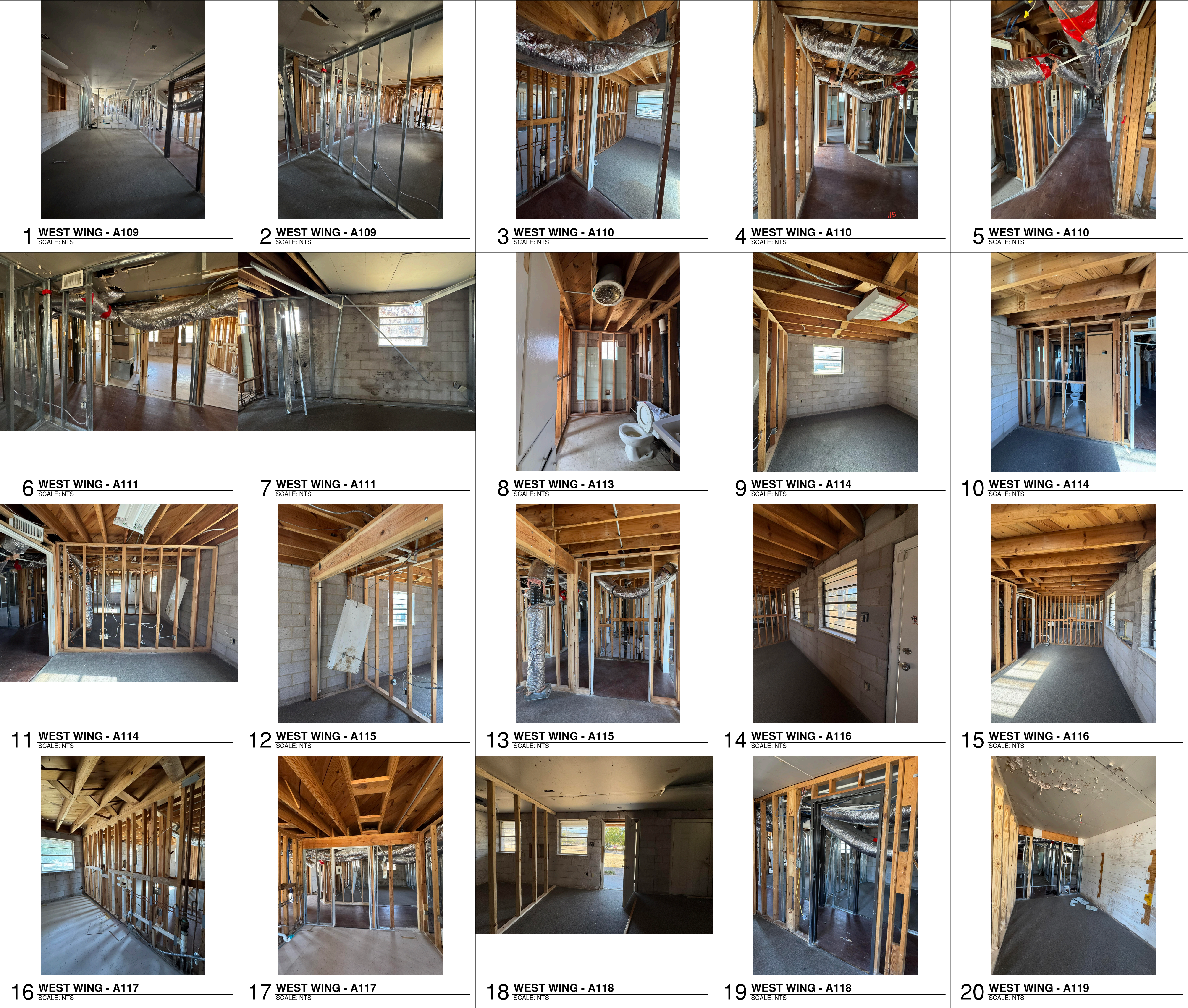


19 WEST WING - A107
SCALE: NTS



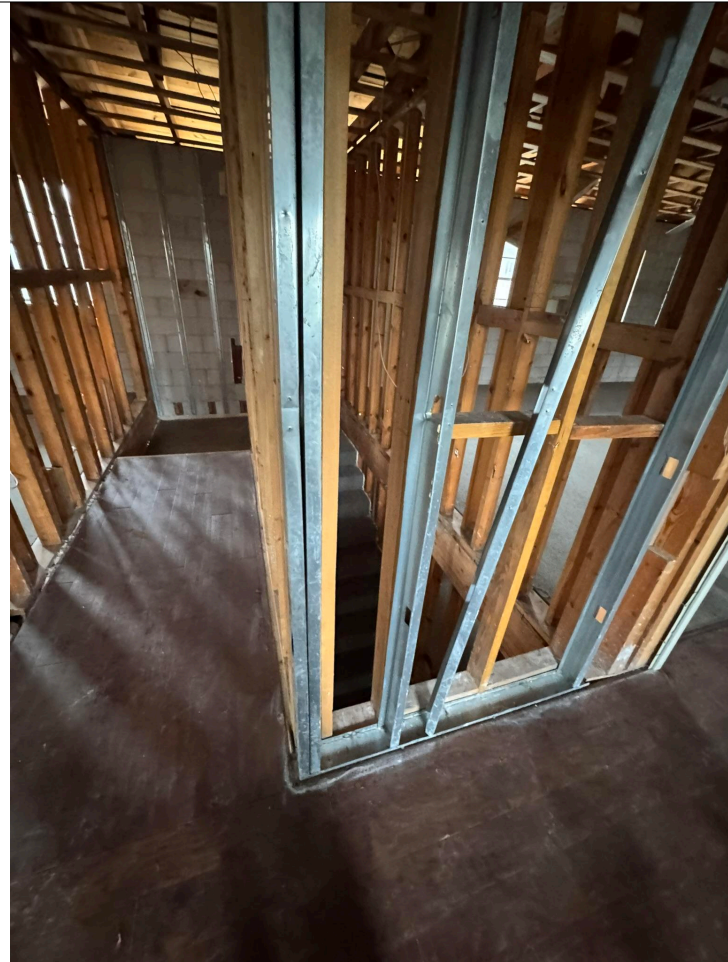
20 WEST WING - A107 / A108
SCALE: NTS

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KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS**





1 EAST WING - B200
SCALE: NTS



2 EAST WING - B200 STAIRWELL
SCALE: NTS



3 EAST WING - B204
SCALE: NTS



4 EAST WING - B204
SCALE: NTS



5 EAST WING - B205
SCALE: NTS



6 EAST WING - B206
SCALE: NTS



7 EAST WING - B208
SCALE: NTS



8 EAST WING - B209
SCALE: NTS



9 EAST WING - B210
SCALE: NTS



10 EAST WING - B211
SCALE: NTS



11 EAST WING - B214
SCALE: NTS



12 EAST WING - B214
SCALE: NTS



13 EAST WING - B214
SCALE: NTS



14 EAST WING - B215
SCALE: NTS



15 EAST WING - B215
SCALE: NTS



16 WEST WING - STAIRWELL LVL 2
SCALE: NTS



17 WEST WING - STAIRWELL LVL 2
SCALE: NTS



18 WEST WING - STAIRWELL
SCALE: NTS

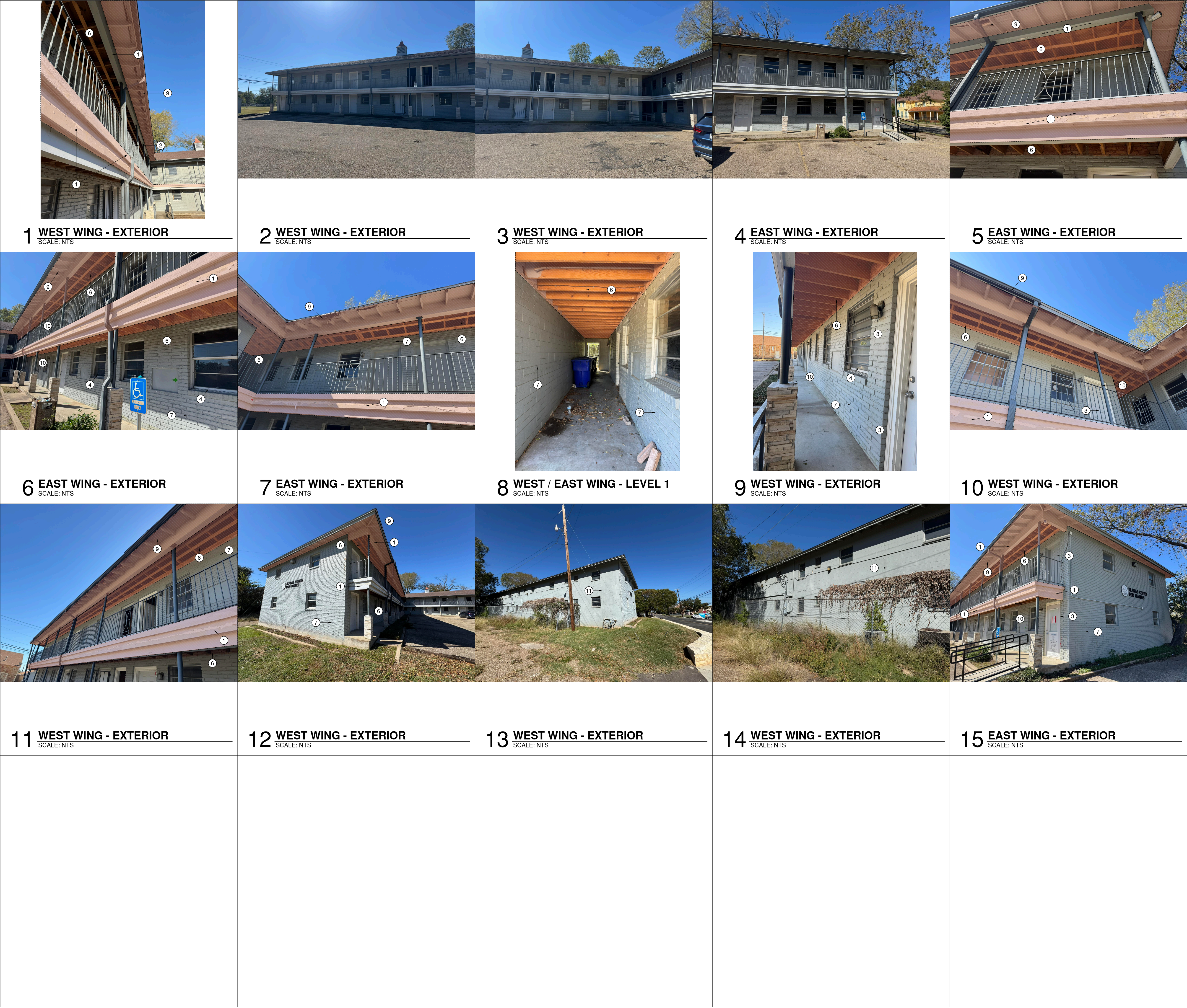


19 WEST WING - A203
SCALE: NTS



20 WEST WING - A205
SCALE: NTS

**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS**



EXTERIOR KEYNOTES	
1	WOOD TRIM - PROVIDE PAINT FINISH
2	EXISTING METAL RAILINGS - NO WORK
3	PAINT EXISTING DOOR & FRAME
4	EXISTING WINDOW - NO WORK
5	EXISTING DOWNSPOUT & GUTTER TO REMAIN
6	PROVIDE NEW HARDIE SOFFIT / PAINT FINISH
7	EXISTING BRICK TO REMAIN - NO WORK
8	EXISTING LIGHT FIXTURE TO REMAIN
9	NEW ROOF AND DECK REPAIR TO BE PROVIDED BY OTHERS. PROVIDE PAINT FINISH OF EXPOSED SOFFIT & OUTRIGGERS
10	EXISTING STEEL COLUMN - NO WORK
11	EXISTING STUCCO - NO WORK

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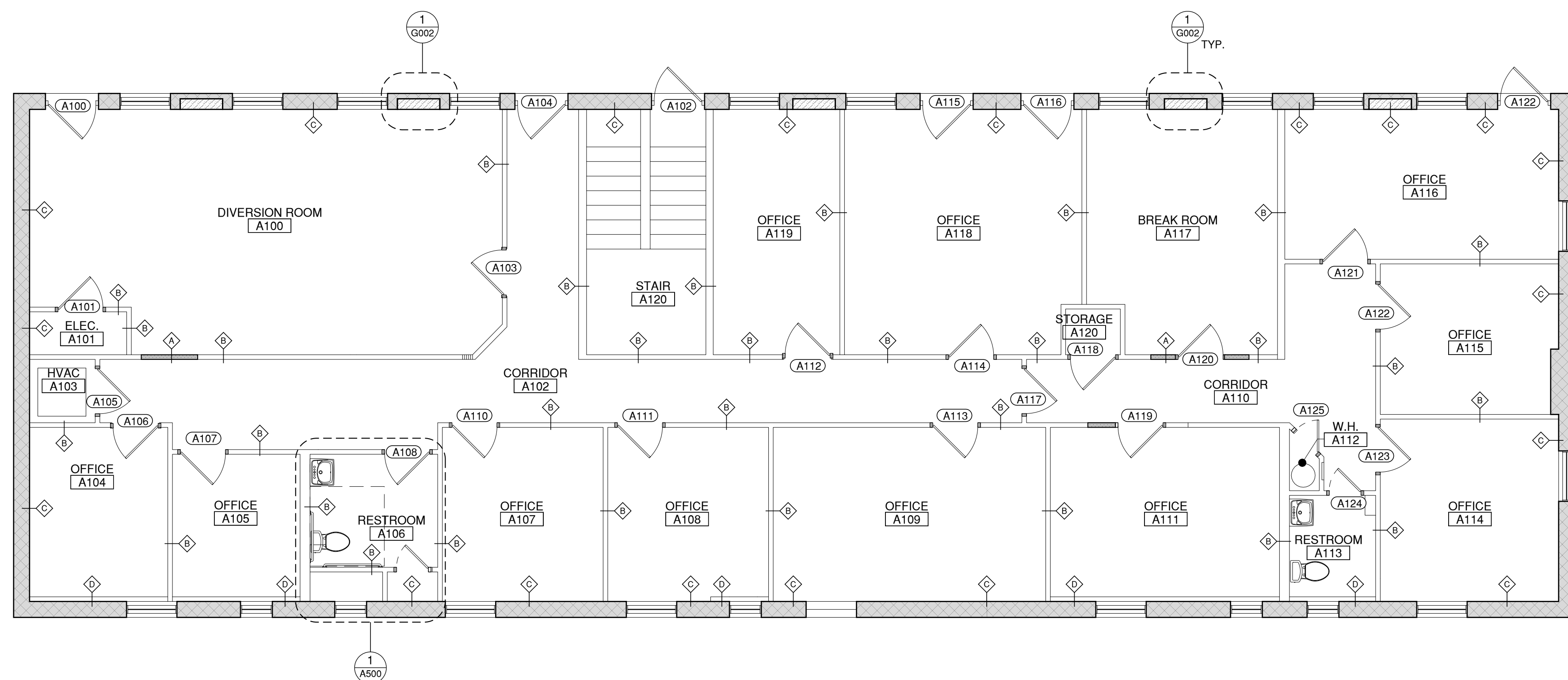
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KLARAS CENTER FOR FAMILIES

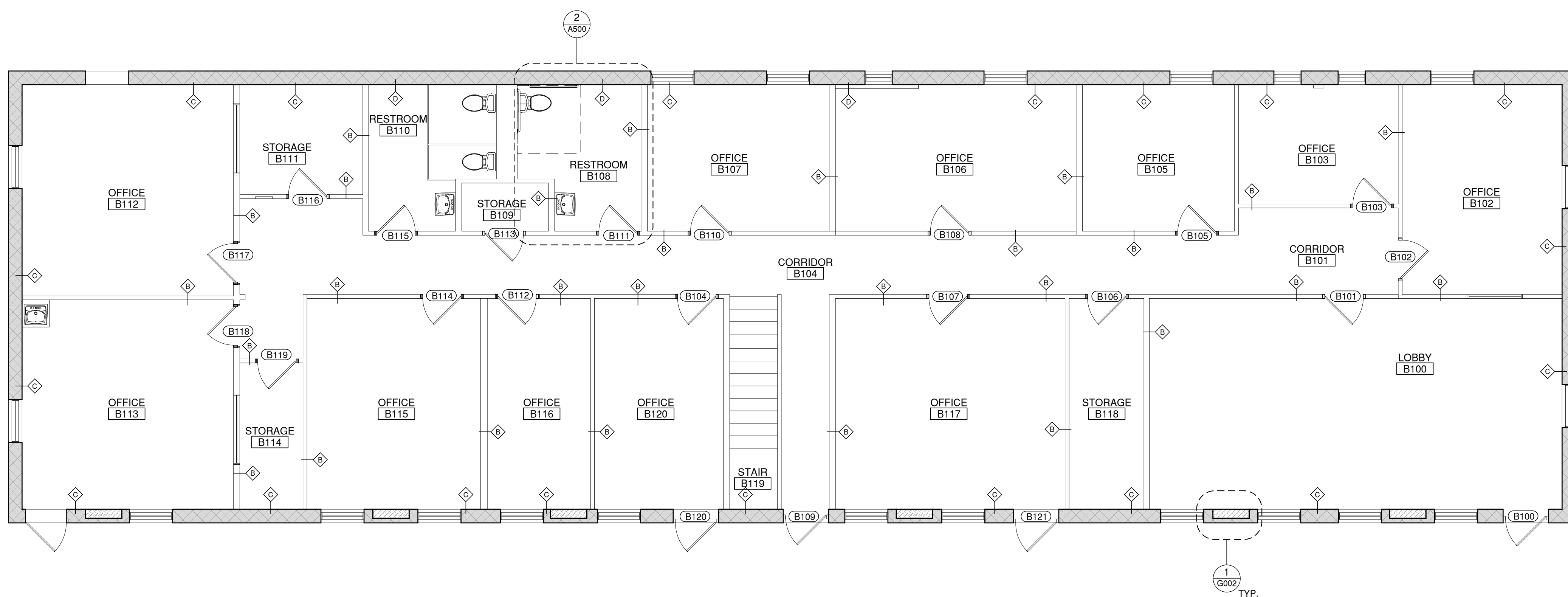
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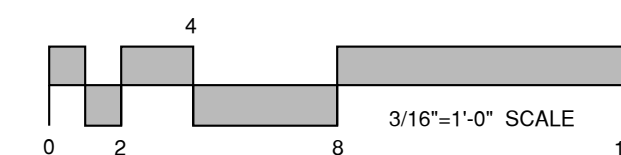
 **1 FLOOR PLAN - WEST WING LEVEL 1**
SCALE: 3/16"=1'-0"







 **2 FLOOR PLAN - EAST WING LEVEL 1**
SCALE: 3/16"=1'-0"

GENERAL PLAN NOTES:	
<ol style="list-style-type: none"> 1. THE INTENT OF THESE DRAWINGS IS TO RETURN THE FINISHED SPACES BACK TO THE ORIGINAL CONDITIONS PRIOR TO ABATEMENT DEMOLITION EXCEPT WHERE EXISTING WALLS HAVE BEEN IDENTIFIED TO BE REMOVED ON THE DEMO PLAN. EXISTING WALL FRAMING TO BE UTILIZED AND REPAIRED WHERE REQUIRED IN KIND TO MATCH EXISTING FRAMING MATERIALS. REFER TO WALL TYPES FOR ADDITIONAL INFORMATION 2. PROVIDE CEILINGS THROUGHOUT TO ALIGN WITH WHERE EXISTING CEILINGS EXISTED. REFER TO RCP FOR INTENT; HOWEVER, CONTRACTOR TO REVIEW EXISTING CONDITIONS AND ADJUST TO FIELD CONDITIONS WHERE REQUIRED TO PROVIDE CLEARANCES FOR DUCTWORK, AIR DEVICES, LIGHTING, ETC. 3. 5/8" GYPSUM BOARD OVER EXISTING CEILING JOISTS TO BE PROVIDED THROUGHOUT THE FIRST AND SECOND FLOOR AREAS 4. ALL MECHANICAL SYSTEMS TO REMAIN. CONTRACTOR TO PROVIDE A COMPLETE WORKING SYSTEM INCLUDING STARTUP & TESTING OF UNITS, CONNECTION OF EXISTING DUCTS TO EACH ROOM AND PROVIDE AIR DEVICES AS REQUIRED FOR AIR DISTRIBUTION. THE DESIGN INTENT IS TO RESET THE EXISTING MECHANICAL SYSTEM TO ITS ORIGINAL CONDITION PRIOR TO ABATEMENT DEMOLITION. 5. ALL ELECTRICAL SYSTEMS TO REMAIN. ELECTRICAL OUTLETS TO REMAIN UNLESS AFFECTED BY THE SELECTIVE DEMOLITION NOTED ON A-200. PROVIDE NEW WALL PLATES THROUGHOUT AS REQUIRED. THE DESIGN INTENT IS TO RETURN THE INTERIOR BACK TO A FINISHED SPACE WITH NO CHANGES TO THE ELECTRICAL SYSTEM UNLESS NOTED OTHERWISE. 6. ALL PLUMBING SYSTEM TO REMAIN UNLESS NOTED OTHERWISE. 7. ALL DOORS HAVE BEEN SALVAGED AND REMAIN ON SITE. CONTRACTOR TO REPAIR AND REINSTALL AS NECESSARY. EACH ROOM LOCATION. THE INTENT IS TO REUSE EXISTING HARDWARE THROUGHOUT UNLESS NOTED OTHERWISE. ALL DOORS AND FRAMES SHALL BE PAINTED THROUGHOUT. 8. PROVIDE NEW AIDA COMPLIANT LEVER LOCKSET TO THE FOLLOWING DOORS: A104, A103, A108, B100, B101, B111. 	<div data-bbox="2801 100 2997 149"> NISBET ARCHITECTURE 215 E. 2nd Street Suite 307 Waco, Texas 76701 (254)910-8010 info@NisbetArchitecture.com </div> <div data-bbox="2801 149 2997 372">  <div data-bbox="2801 372 2997 416"> <p>USE OF ARCHITECTS DOCUMENTS Copyright ©2025, Nisbet Architecture, Inc. All rights reserved. The Design, Drawings, and/or the Architect's office are instruments of service. The Architect shall be deemed the author of the Design, Drawings, and/or the Architect's office and retain all copyright, patent, and other intellectual property rights in and to the Design, Drawings, and/or the Architect's office. No portion of the Design, Drawings, and/or the Architect's office may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. No part of the above mentioned documents may be reproduced or used without permission from the Architect.</p> </div> </div>

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MATERIAL PLAN KEY

- | | |
|---|---|
|  | EXISTING EXTERIOR WALL TO REMAIN |
|  | EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN, REFER WALL TYPES FOR FINISH |
|  | NEW PARTITION, REFER WALL TYPES |
|  | EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED |

PLAN NOTES

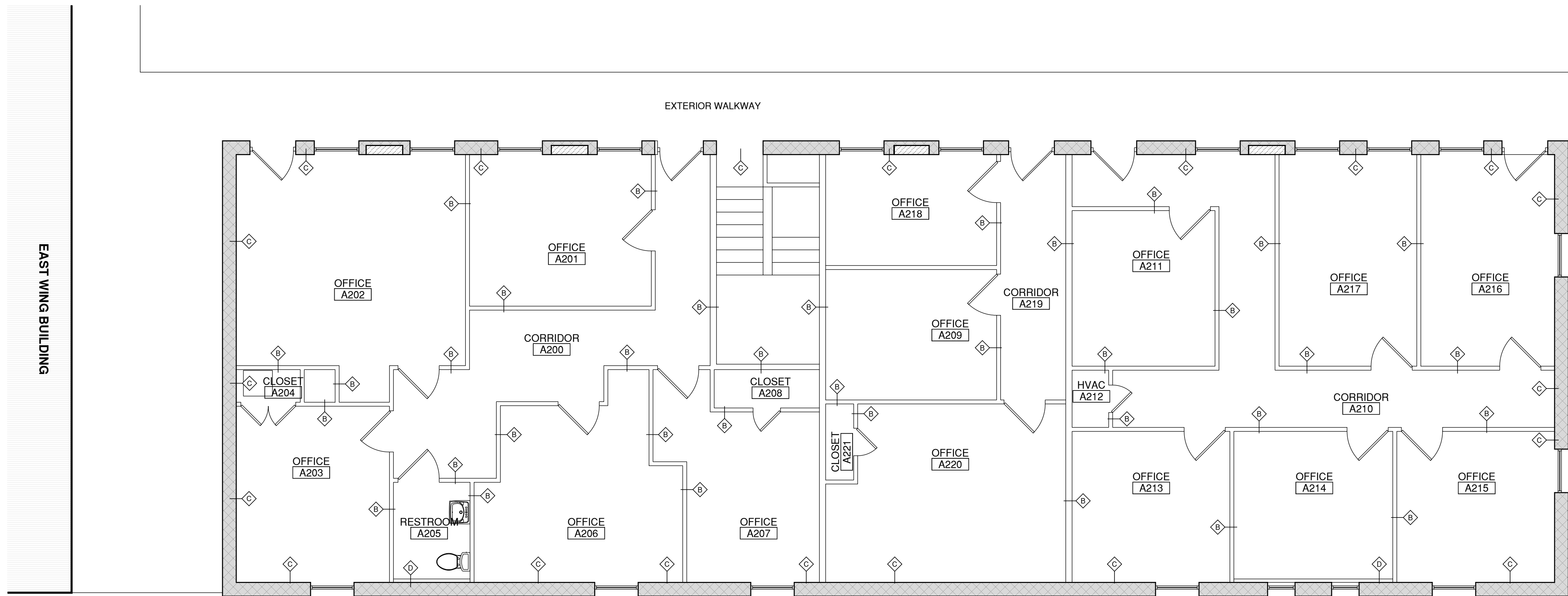
- | | |
|-----|-------------------------------|
| XXX | REFER TO DOOR SCHEDULE |
| X | REFER TO WINDOW SCHEDULE |
| X | REFER TO G-100 FOR WALL TYPES |

DIMENSION KEY

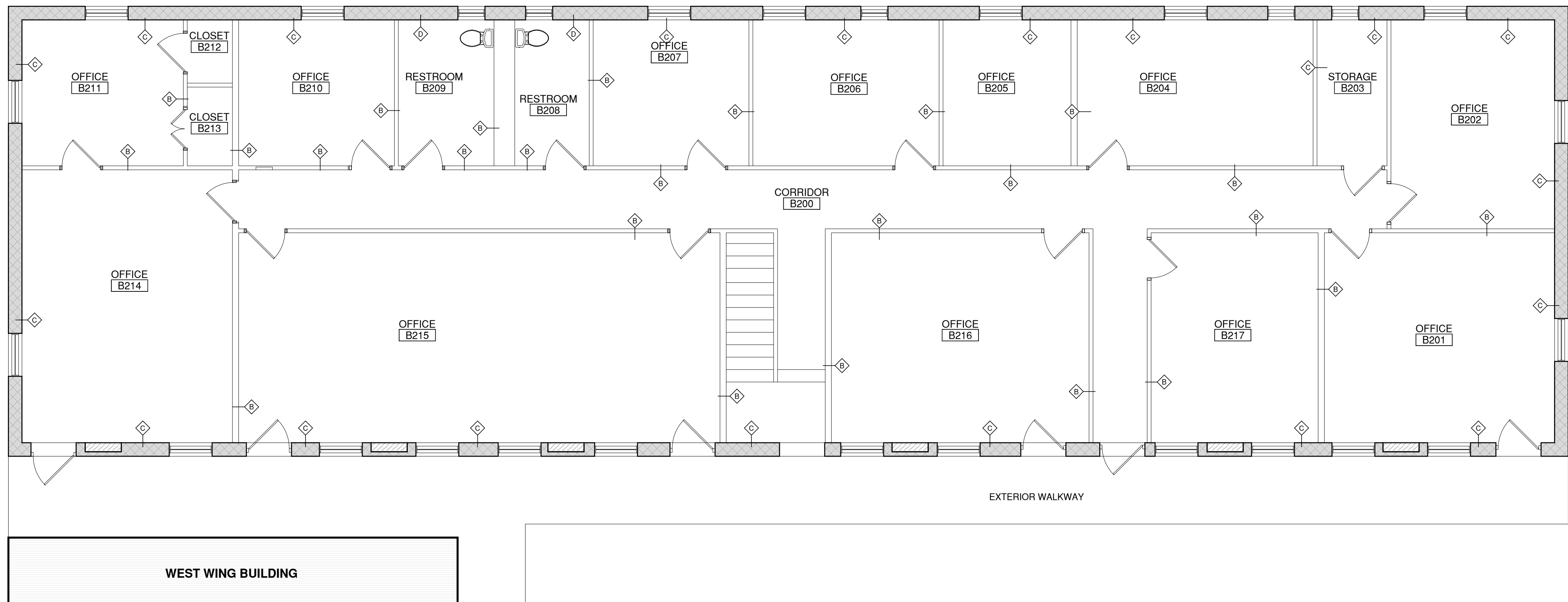
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|--|---|
| | DIMENSION - DENOTES FACE OF
STRUCTURE/FRAMING U.N.O. |
| | DIMENSION - DENOTING
CENTERLINE / STRUCTURAL GRID |
| | DIMENSION - DENOTING FACE OF
FINISH / CLEAR |

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1 FLOOR PLAN - WEST WING LEVEL 2
SCALE: 3/16"=1'-0"



2 FLOOR PLAN - EAST WING LEVEL 2
SCALE: 3/16"=1'-0"

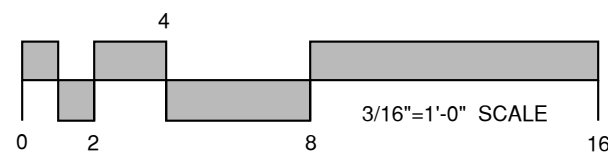
- GENERAL PLAN NOTES:**
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 2. PROVIDE CEILINGS THROUGHOUT TO ALIGN WITH WHERE EXISTING CEILINGS EXISTED. REFER TO RCP FOR INTENT; HOWEVER, CONTRACTOR TO REVIEW EXISTING CONDITIONS AND ADJUST TO FIELD CONDITIONS WHERE REQUIRED TO PROVIDE CLEARANCES FOR DUCTWORK, AIR DEVICES, LIGHTING, ETC.
 3. 5/8" GYPSUM BOARD OVER EXISTING CEILING JOISTS TO BE PROVIDED THROUGHOUT THE FIRST AND SECOND FLOOR AREAS
 4. ALL MECHANICAL SYSTEMS TO REMAIN. CONTRACTOR TO PROVIDE A COMPLETE WORKING SYSTEM INCLUDING STARTUP & TESTING OF UNITS. CONNECTION OF EXISTING DUCTS TO EACH ROOM AND PROVIDE AIR DEVICES AS REQUIRED FOR AIR DISTRIBUTION. THE DESIGN INTENT IS TO RESET THE EXISTING MECHANICAL SYSTEM TO ITS ORIGINAL CONDITION PRIOR TO ABATEMENT DEMOLITION.
 5. ALL ELECTRICAL SYSTEMS TO REMAIN. ELECTRICAL OUTLETS TO REMAIN UNLESS AFFECTED BY THE SELECTIVE DEMOLITION NOTED ON A-200. PROVIDE NEW WALL PLATES THROUGHOUT AS REQUIRED. THE DESIGN INTENT IS TO RETURN THE INTERIOR BACK TO A FINISHED SPACE WITH NO CHANGES TO THE ELECTRICAL SYSTEM UNLESS NOTED OTHERWISE.
 6. ALL PLUMBING SYSTEM TO REMAIN UNLESS NOTED OTHERWISE.
 7. ALL DOORS HAVE BEEN SALVAGED AND REMAIN ON SITE. CONTRACTOR TO CATALOG AND REINSTALL EXISTING DOORS TO EACH ROOM LOCATION. THE INTENT IS TO REUSE EXISTING HARDWARE THROUGHOUT UNLESS NOTED OTHERWISE. ALL DOORS AND FRAMES SHALL BE PAINTED THROUGHOUT.
 8. PROVIDE NEW ADA COMPLIANT LEVER LOCKSET TO THE FOLLOWING DOORS: A104, A103, A108, B100, B101, B111.

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REGISTERED ARCHITECT
DAVID C. NISBET, AIA
STATE OF TEXAS
NO. 27715
DECEMBER 19, 2025

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**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS**



MATERIAL PLAN KEY

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- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN. REFER WALL TYPES FOR FINISH
- NEW PARTITION, REFER WALL TYPES
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PLAN NOTES

- XXX REFER TO DOOR SCHEDULE
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DIMENSION KEY

- 4'-0" DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
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ISSUE DATE
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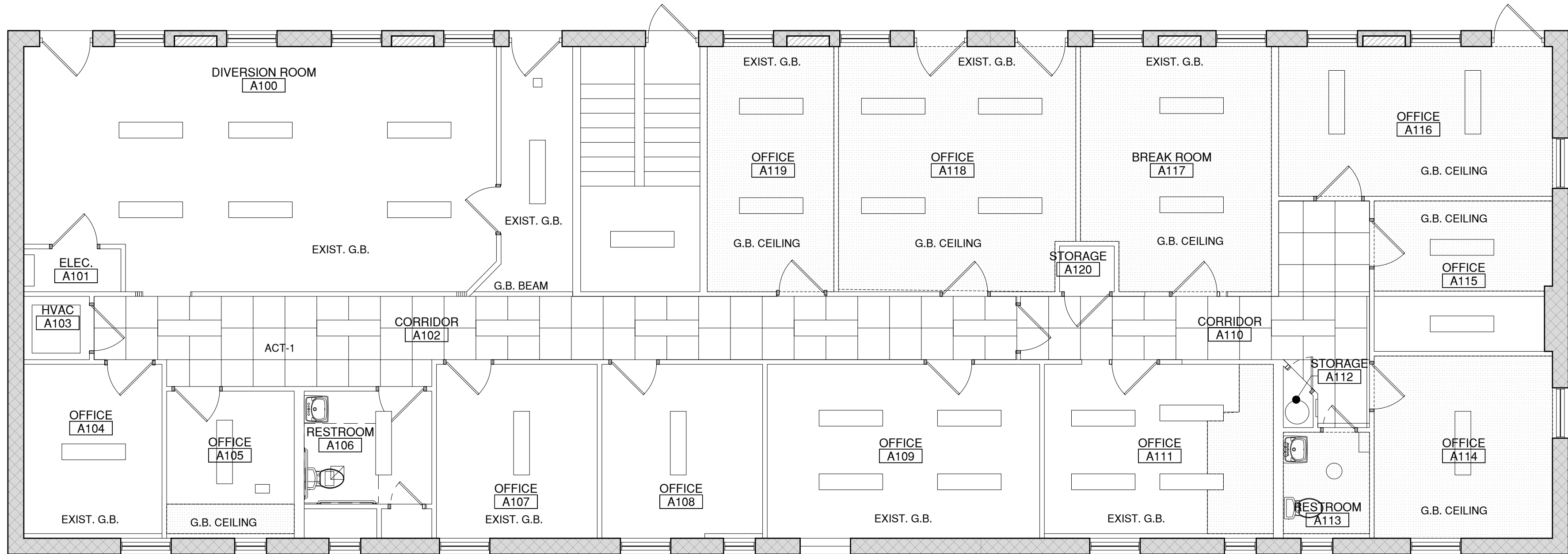
PRINT DATE
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REVISION

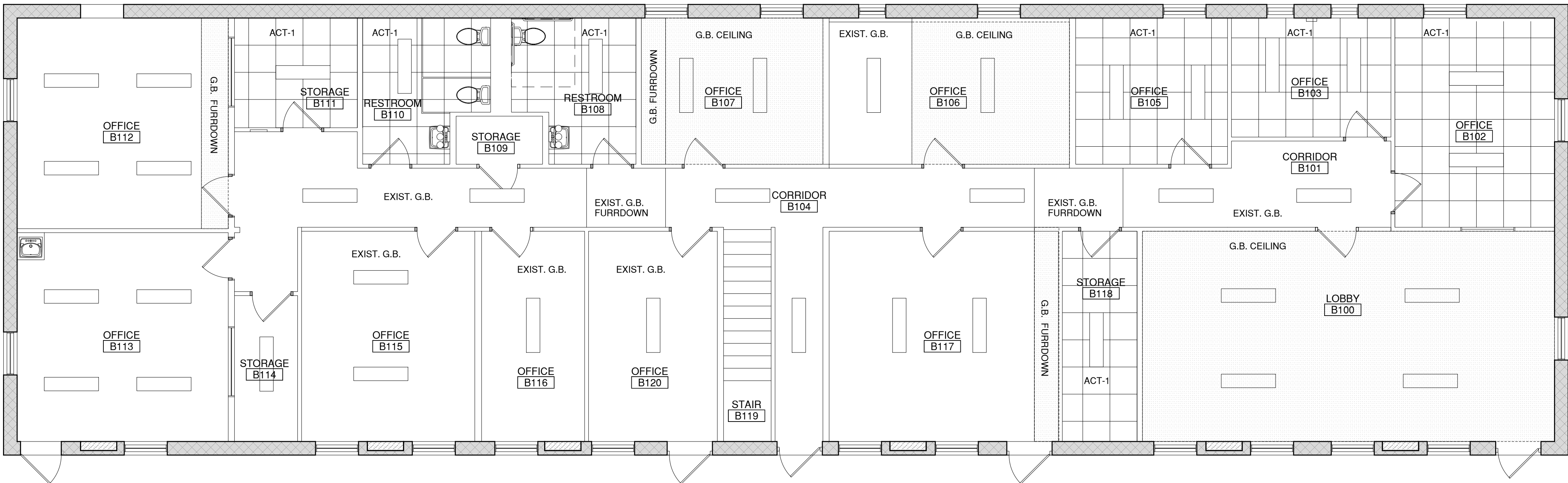
FLOOR PLANS - LEVEL 2

A-221

EAST WING BUILDING



1 REFLECTED CEILING PLAN - WEST WING
SCALE: 3/16"=1'-0"
LEVEL ONE

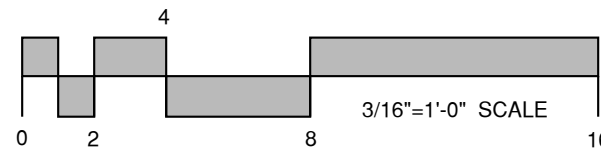


WEST WING BUILDING

2 REFLECTED CEILING PLAN - EAST WING
SCALE: 3/16"=1'-0"
LEVEL ONE

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LIGHT FIXTURE SCHEDULE		
TYPE	USE	FIXTURE
A	CEILING	1X4 LED - LITHONIA CPX AL07 SWW7M4-LOW LUMEN 4000K
B	EXIT	EXIT SIGN - REINSTALL EXISTING
C	VANITY	CAFE SERIES BY GENERATION LIGHTING4487903-848 THREE LIGHT - SATIN BRASS (848)
D	EXTERIOR SCONCE	EXISTING TO REMAIN
E	EGRESS	LED EGRESS-EVENLITE, CRV-9-BK-XX
LIGHT FIXTURE NOTES		
1	THE DESIGN INTENT FOR LIGHT FIXTURE LOCATIONS AS INDICATE ON THE RCP IS TO BE A ONE FOR ONE REPLACEMENT OF THE EXISTING LIGHT FIXTURES PRIOR TO ABATEMENT DEMOLITION.	
2	UTILIZE EXISTING SWITCHING, J-BOX, WIRING, ECT FOR ALL NEW FIXTURES. VERIFY WHETHER ALL EXISTING AND RELOCATED FIXTURE COMPONENTS ARE IN PROPER WORKING ORDER. RE-CIRCUIT AS REQUIRED.	
3	CONTRACTOR TO VISIT THE JOB SITE TO REVIEW EXISTING CONDITIONS AND PREPARE BIDS IN ACCORDANCE WITH THE SCOPE OF WORK AS REQUIRED TO PROVIDE A COMPLETE FINISHED PRODUCT.	
4	UTILIZE EXISTING EXIT LIGHTING AND REMOUNT AS REQUIRED. SHOULD EXIT LIGHTING BE MISSING FROM ABATEMENT DEMOLITION, PROVIDED NEW LIGHTING TO MATCH EXISTING AS CLOSE AS POSSIBLE	
5	PROVIDE NEW FACEPLATES FOR ALL SWITCHES	
6	CONTRACTOR TO COORDINATE LIGHT FIXTURE MOUNTING WITH CEILING FINISH MATERIAL. ALL CEILING FIXTURES TO BE SURFACE MOUNTED UNLESS NOTED OTHERWISE	
7	PROVIDE BATTERY PACKS OR EMERGENCY INVERTER SYSTEM FOR ALL EMERGENCY FIXTURES AND EXIT SIGNS. BATTERY PACK AND INVERTER SYSTEM SHALL BE RATED FOR A MINIMUM OF 90 MINUTES AND SHALL CARRY 100% OF THE LAMP LUMEN OUTPUT. CONNECT UN-SWITCHED EMERGENCY FIXTURES AHEAD OF ANY SWITCHES AND/OR RELAYS	
9	UNLESS NOTED OTHERWISE, ALL EXIT SIGNS AND EMERGENCY LIGHTING FIXTURES SHALL BE CONNECTED TO THE ROOM/CORRIDOR/EXTERIOR LIGHTING CIRCUIT UN-SWITCHED HOT LEG	



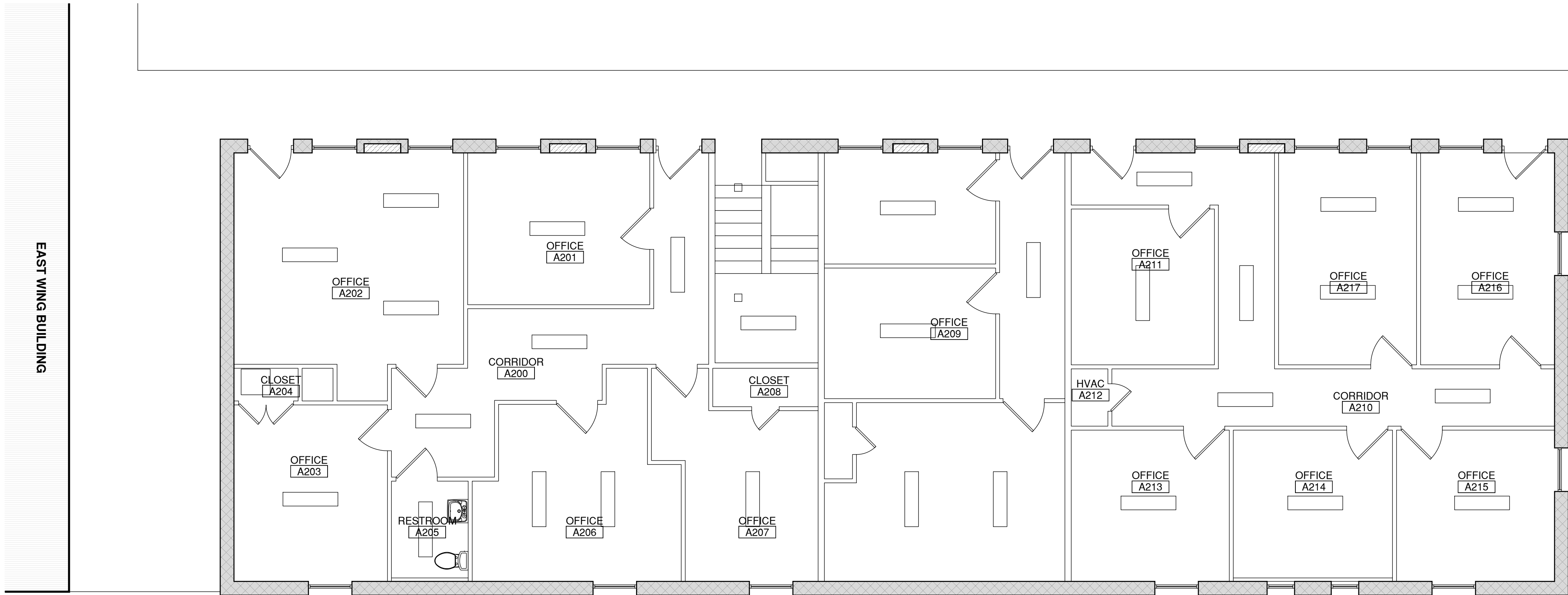
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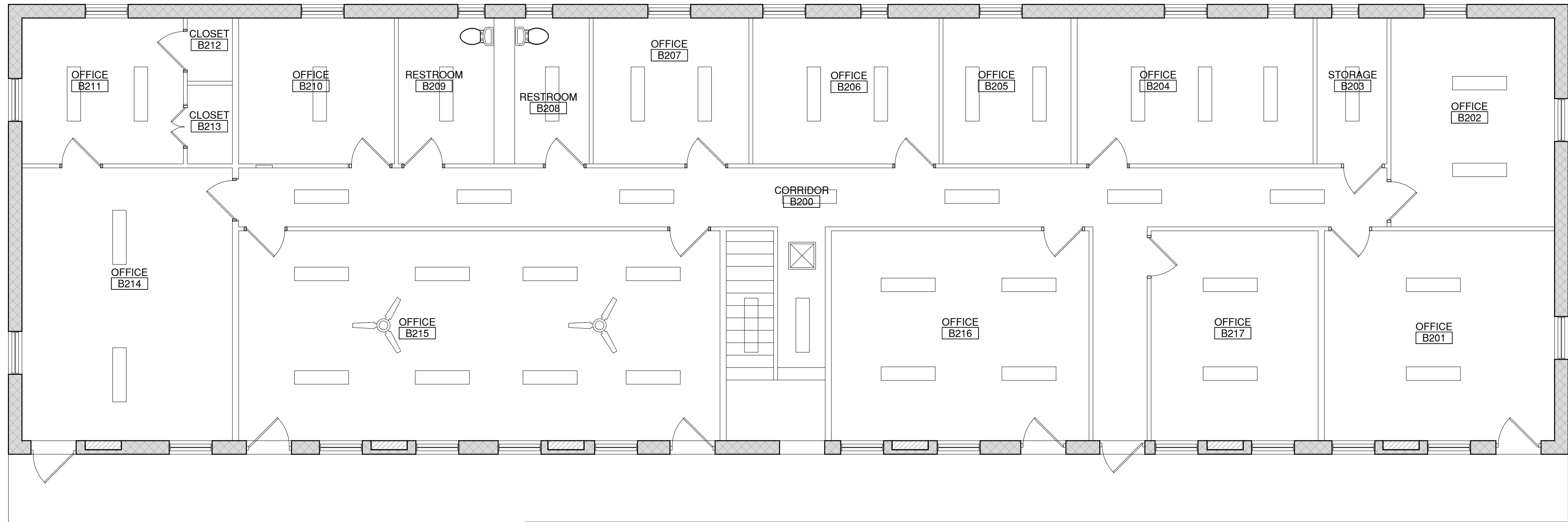
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1 REFLECTED CEILING PLAN - WEST WING
SCALE: 3/16"=1'-0"
LEVEL TWO



WEST WING BUILDING



2 REFLECTED CEILING PLAN - EAST WING
SCALE: 3/16"=1'-0"
LEVEL TWO

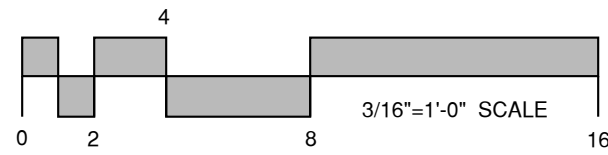
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B	EXIT	EXIT SIGN - REINSTALL EXISTING
C	VANITY	CAFE SERIES BY GENERATION LIGHTING4487903-848 THREE LIGHT - SATIN BRASS (848)
D	EXTERIOR SCONCE	EXISTING TO REMAIN
E	EGRESS	LED EGRESS-EVENLITE, CRV-9-BK-XX

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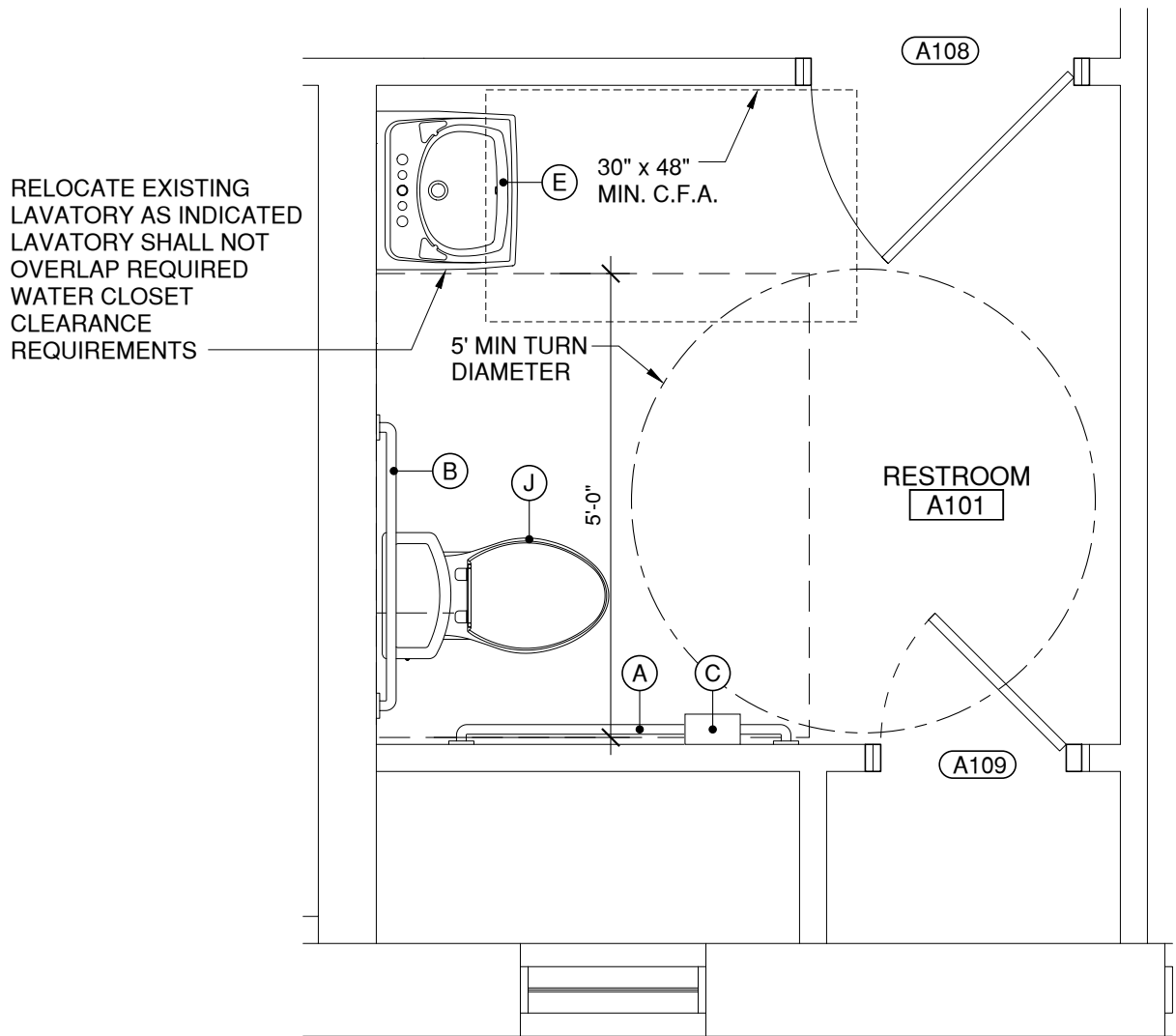
**REFLECTED CEILING
PLANS - LEVEL 2**

A-261

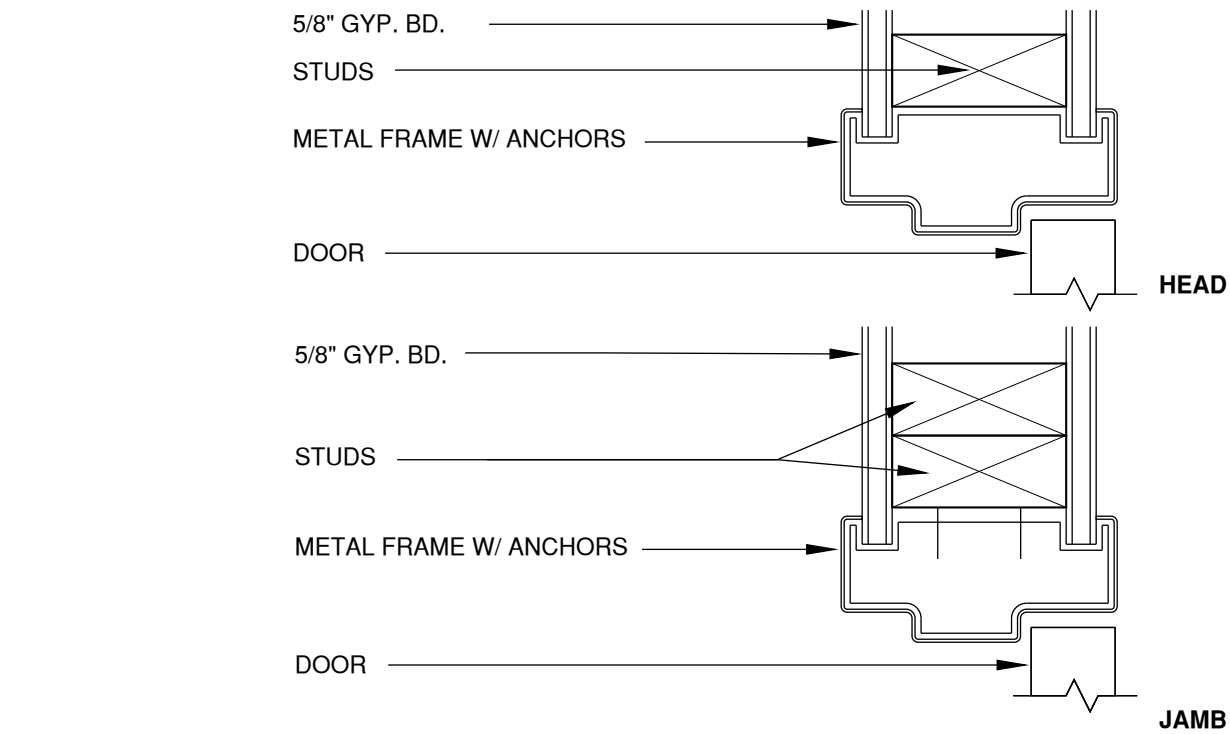
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	ROOM NAME	FLOOR	BASE	WALLS				CEILING		NOTES
				NORTH	EAST	SOUTH	WEST			
WEST WING - LEVEL 1										
A100	DIVERSION ROOM	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A101	ELEC.	-	-	WP-1	WP-1	WP-1	WP-1	GB-1		
A102	CORRIDOR	LVT-2	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
A103	HVAC	-	-	WP-1	WP-1	WP-1	WP-1	GB-1		
A104	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A105	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A106	RESTROOM	EXISTING	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A107	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A108	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A109	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A110	CORRIDOR	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
A111	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A112	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A113	RESTROOM	EXISTING	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A114	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A115	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A116	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A117	BREAK ROOM	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A118	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A119	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A120	STAIR		RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
WEST WING - LEVEL 2										
A200	CORRIDOR	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A201	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A202	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A203	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A204	CLOSET	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A205	RESTROOM	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A206	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A207	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A208	CLOSET	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A209	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A210	CORRIDOR	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A211	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A212	HVAC	-	-	WP-1	WP-1	WP-1	WP-1	GB-1		
A213	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A214	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A215	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A216	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
A217	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
EAST WING - LEVEL 1										
B100	LOBBY	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B101	CORRIDOR	LVT-2	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B102	OFFICE	LVT-2	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B103	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B104	CORRIDOR	LVT-2	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B105	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B106	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B107	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B108	RESTROOM	CT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B109	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B110	RESTROOM	CT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B111	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	ACT-1		
B112	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B113	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B114	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B115	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B116	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B117	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B118	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B119	STAIR	EXISTING	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B120	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
EAST WING - LEVEL 2										
B200	CORRIDOR	LVT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B201	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B202	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B203	STORAGE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B204	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B205	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B206	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B207	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B208	RESTROOM	CT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B209	RESTROOM	CT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B210	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B211	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B212	CLOSET	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B213	CLOSET	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B214	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B215	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B216	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		
B217	OFFICE	CPT-1	RB-1	WP-1	WP-1	WP-1	WP-1	GB-1		

MATERIALS KEY					
FLOORS	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	PRODUCT INFO
LVT-1	LUXURY VINYL TILE	DALTILE	PINES TERRACE	GINGER PT78	7 1/4"x48" PLANK, 3MM
LVT-2	EXISTING LVT TO REMAIN				
CPT-1	CARPET TILE	PATCRAFT	GEMSCAPE	GYPSUM 00160	24"x24" CARPET TILE
CT-1	EXISTING TILE TO REMAIN				
BASE					
RB-1	RUBBER	TARAKETT	BASEWORKS TYPE TS	TG6 MINK	4" RUBBER BASE W/TOE
WALLS					
WP-1	TEXTURE & PAINT GYPSUM BOARD	SHERWIN-WILLIAMS	SW 7570	EGRET WHITE	EGGSHELL
CEILINGS					
GB-1	TEXTURE & PAINT GYPSUM BOARD	SHERWIN-WILLIAMS	SW 7570	EGRET WHITE	EGGSHELL
ACT-1	24"x24"x15/16" SUSPENDED CLG.	ARMSTRONG	FINE FISSURED 1728	WHITE	SUSPENDED CEILING TILE; SQUARE LAY-IN

REFER TO TEXAS ACCESSIBILITY STANDARDS FOR LOCATION & MOUNTING OF ALL TOILET ACCESSORIES

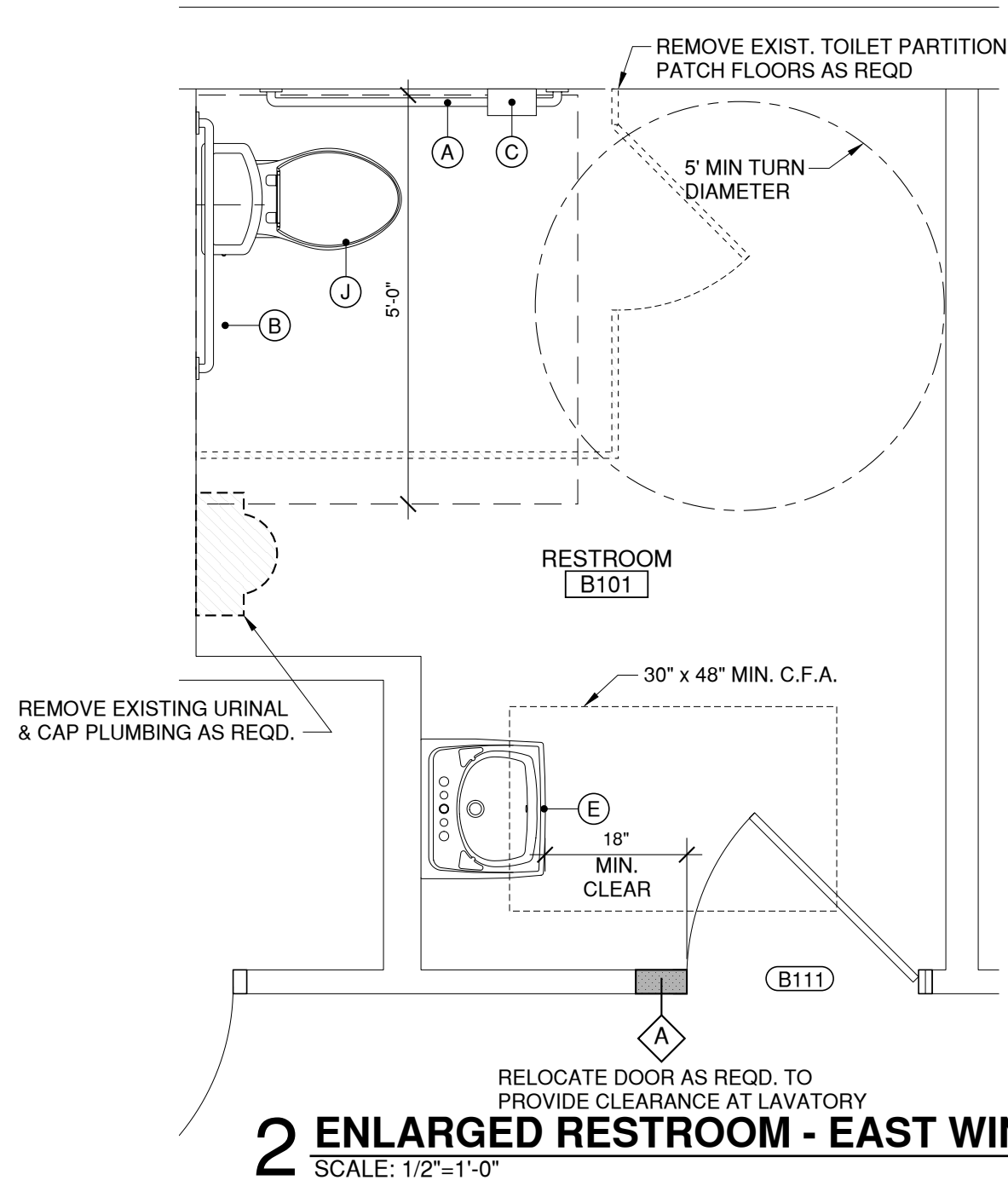


1 ENLARGED RESTROOM - WEST WING
SCALE: 1/2"=1'-0"



3 DOOR HEAD AND JAMB DETAIL
SCALE: 1/4"=1'-0"

REFER TO TEXAS ACCESSIBILITY STANDARDS FOR LOCATION & MOUNTING OF ALL TOILET ACCESSORIES



2 ENLARGED RESTROOM - EAST WING
SCALE: 1/2"=1'-0"

TOILET ACCESSORIES		
UNLESS NOTED OTHERWISE - BOBRICK ACCESSORIES LISTED OR APPROVED EQUAL		
A	42" GRAB BAR	B6806X42"
B	36" GRAB BAR	B-6806-36"
C	TOILET TISSUE DISPENSER	BY OWNER
D	PAPER TOWEL DISPENSER	BY OWNER
E	WALL MOUNTED LAVATORY	EXISTING TO REMAIN
F	42" GRAB BAR	EXISTING TO REMAIN
G	36" GRAB BAR	EXISTING TO REMAIN
H	MIRROR 24"x36" - STAINLESS STEEL FRAMED	B-165-2436
J	WATER CLOSET	EXISTING TO REMAIN

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REGISTERED ARCHITECT

STATE OF TEXAS

27715

04-14-2020

OCTOBER 10, 2025

USE OF ARCHITECTS DOCUMENTS

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BEHAVIORAL HEALTH NETWORK

KLARAS CENTER FOR FAMILIES

INTERIOR RENOVATION

1105 JEFFERSON AVE, WACO TEXAS

FILE NAME
C:\Users\User\Profile David N\OneDrive - Nisbet Architecture\NA Projects\25121 - BHN Jefferson Ave\Model/Layout\1_BID PACKAGE\A-500 - ENLARGED PLANS, DOOR & FINISH SCHEDULE.layout
ISSUE DATE
December 29, 2025
PRINT DATE
December 29, 2025
REVISION

ENLARGED PLANS, DOOR & FINISH SCHEDULE

A-500



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BEHAVIORAL HEALTH NETWORK KLARAS CENTER FOR FAMILIES INTERIOR RENOVATION 1105 JEFFERSON AVE, WACO TEXAS

FILE NAME
D:\nzb10\OneDrive - Nisbet Architecture\NA
-Proj\03\25121 - BHM Jefferson
Ave\Model\Layout\1_BID PACKAGE\A-700 -
CONSTRUCTION DETAILS\Layout

ISSUE DATE
December 19, 2025

PRINT DATE
December 19, 2025

REVISION

TYPICAL METAL
FRAMING DETAILS

A-710

METAL FRAMING

SSMA METAL FRAMING DESIGNATOR SYSTEM

MEMBER DEPTH:
ALL MEMBER DEPTHS ARE TAKEN
IN 1/100 INCHES - 600 = 6" DEEP

FLANGE WIDTH:
ALL FLANGE WIDTHS ARE TAKEN IN 1/100
INCHES - EXAMPLE: 1-5/8" = 1.625" = 162

600

S

162

54

STYLE:
S = STUDS OR JOISTS
T = TRACK SECTIONS
U = CHANNEL SECTIONS
F = FURRING CHANNEL SECTIONS
Z = FURLIN

MATERIAL THICKNESS:
MINIMUM BASE METAL THICKNESS IN MILS

MILS	REF GAUGE	MILS	REF GAUGE
18	25 GAUGE	43	18 GAUGE
27	22 GAUGE	54	16 GAUGE
33	20 GAUGE	68	14 GAUGE

TABLE OF ACCEPTABLE MANUFACTURERS

MANUFACTURER	ICC APPROVAL NUMBER
CLARK DIETRICH METAL FRAMING	ICC REPORT ICC-ES-ESR-1166P
STEEL STUD MANUFACTURER ASSOCIATION	ICC REPORT ICC-ES-ESR-3064P

METAL FRAMING GENERAL NOTES

SHOP DRAWINGS: SUBMIT SHOP DRAWINGS WHERE PROPOSED TO DIFFER FROM DETAILS SHOWN - SHOW METHOD OF STUD ATTACHMENT TO FLOOR AND CEILING TRACKS / TRACK ATTACHMENT / CONSTRUCTION OVER AND AROUND DOORS AND OPENINGS / AT CORNERS / CEILING DETAILS AND OTHER SIGNIFICANT FEATURES

METAL STUDS: ASTM C645 - STUDS 18 GAUGE AND LIGHTER MINIMUM YIELD STRENGTH 33 KSI / STUDS 16 GAUGE AND HEAVIER MINIMUM YIELD STRENGTH 50 KSI - TYPES / SIZES AS INDICATED ON DRAWINGS - PUNCHED WEB DESIGN WITH ADEQUATE OPENINGS TO ALLOW PASSAGE OF CONDUIT AND PIPES WITH SMOOTH SURFACE AND GALVANIZED FINISH

GAUGE OF METAL FRAMING: PROVIDE STUDS OF 20 GAUGE - MINIMUM 0.0329 INCH - BASE STEEL TYPICALLY - UNLESS HEAVIER GAUGE IS NECESSARY ACCORDING TO THE PUBLISHED TABLES OF METAL STUD MANUFACTURER TO LIMIT DEFLECTION TO L/360 AT 5 PSF

FRAMING AT DOOR JAMBS AND OPENINGS: PROVIDE MINIMUM DOUBLE 20 GAUGE KING STUDS AT DOOR JAMBS AND CASED OPENINGS, AND OTHER LOCATIONS INDICATED - PROVIDE 12" SECTION OF EMBEDDED STUD TO REINFORCE TRACK ADJACENT TO OPENINGS - REFER TO DETAILS

CROSS-BRACING: UNLESS INDICATED ON DRAWINGS CROSS-BRACING AT DOUBLE STUD WALLS AND PARTITIONS SHALL NOT BE USED TO LIMIT DEFLECTION UNLESS ACUSTICAL PERFORMANCE OF WALL OR PARTITION IS NOT DEGRADED

TRACKS / SILLS / HEADERS: UNPUNCHED CHANNELS SIZED FOR STUD FLANGES, GAUGE THE SAME AS STUDS UNLESS OTHERWISE NOTED - SLOTTED HEAD TRACKS AT STUDS TO STRUCTURE ABOVE

METAL FRAMING FINISH: ALUMINUM-ZINC CORROSION RESISTANT COATING, ASTM A792 OR HOT DIPPED GALVANIZED ASTM A525 G60

SCREWS: AS RECOMMENDED OR REQUIRED BY MANUFACTURER, SELF-FILLING, SELF-TAPPING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS - PENETRATION OF SCREWS THROUGH JOINED MATERIAL SHOULD NOT BE LESS THAN THREE EXPOSED THREADS

JOISTS: ASTM C446 GRADE C WITH MINIMUM YIELD STRENGTH 40 KSI OF TYPES / SIZES AND GAUGES AS INDICATED ON DRAWINGS WITH PUNCHED WEB - UNLESS NOTED OTHERWISE AND CONFIGURED TO PERMIT NESTING - PROVIDE MINIMUM 20 GAUGE - UNLESS NOTED OTHERWISE

STUDS AND JOISTS INSTALLATION: INSTALL STUDS / JOISTS AT 16" OC TYPICALLY UNO - DO NOT SPLICE STUDS AND JOISTS - PROVIDE STUDS NOT MORE THAN 2" FROM EACH CORNER OF WALL OR ABUTTING CONSTRUCTION - FRAMING TO BE CUT TO FIT SQUARELY AGAINST ABUTTING MEMBERS

BACKING PLATES: 16 GAUGE GALVANIZED SHEET METAL COVERING FULL WIDTH OF STUD SPACING BY 4" WIDE MINIMUM - INSTALL STUD TRACK OR SHEET METAL BACKING AS INDICATED AND AS NECESSARY TO SUPPORT ALL PRODUCTS ATTACHED TO WALL OR CEILING AFTER COMPLETION OF FINISHED SURFACE INCLUDING TOILET ACCESSORIES / PLUMBING AND ELECTRICAL FIXTURES / ELECTRICAL PANELS / TOILET PARTITIONS / CASEWORK / HARDWARE / HANDRAILS AND TRIM

TRACK INSTALLATION: PLACE AND ALIGN TRACKS IN CONFIGURATIONS SHOWN - SECURE TOP / BOTTOM AND SIDE TRACKS AT MAXIMUM 24" OC TO STRUCTURE USING FASTENERS AS DETAILED - PROVIDE FOR DEFLECTION AT TOP TRACK OF PARTITION FRAMING ABUTTING FLOOR OR ROOF DECK

COORDINATION: COORDINATE ERECTION OF STUDS AND JOISTS WITH INSTALLATION OF SERVICE UTILITIES TO MINIMIZE DISCONTINUITY IN FRAMING - ALIGN STUD WEB OPENINGS AND COORDINATE WITH INSTALLATION OF BUCKS OR ANCHORS / BACKING OR BLOCKING / PLUMBING AND MECHANICAL / ELECTRICAL COMPONENTS TO PROVIDE NECESSARY CLEARANCES AND SUPPORTS - COORDINATE WITH REQUIREMENTS FOR DOOR AND WINDOW FRAME SUPPORTS AND ATTACHMENTS

CLEARANCES: MAINTAIN CLEARANCE UNDER BUILDING STRUCTURAL MEMBERS AS REQUIRED TO AVOID DEFLECTION TRANSFER TO NON-LOAD BEARING FRAMING

OPENINGS AND RECESSES: PROVIDE FRAMED OPENINGS FOR ALL RECESSED AND BUILT-IN COMPONENTS - COORDINATE INSTALLATION OF FRAMING WITH REQUIREMENTS FOR DOOR AND WINDOW FRAME SUPPORTS AND ATTACHMENTS

BRACING INSTALLATION: INSTALL BRACING AT STUDS AND JOISTS TO MAKE RIGID - INSTALL INTERLOCKING BRIDGING MEMBER THROUGH STUD WEB OPENINGS AT STUDS 7'-6" IN LENGTH OR GREATER WHICH ARE NOT SHEATHED - PROVIDE ALL NECESSARY BRACING TO STRUCTURE FOR INTERIOR PARTITIONS / CEILINGS / PLATFORMS / ETC - WHETHER SHOWN ON DRAWINGS OR NOT

DETAIL LIMITATIONS: DETAILS SHOWN DESIGNATE STUDS FOR NON-BEARING INTERIOR WALLS ONLY WHERE STUDS ARE NOT TO BE LOADED AXIALLY AND ARE Laterally UNBRACED - HEIGHTS ARE BASED ON WEB PUNCH-OUTS MINIMUM OF 1.3 TIMES WEB FROM EDGE OF BEARING - DEFLECTION LIMIT IS BASED ON L/240

DEFLECTION: FULL HEIGHT INTERIOR NON-LOAD BEARING PARTITIONS MUST HAVE 1" GAP AFTER FLOOR / ROOF LOADS ARE ADDED FOR DEFLECTION BETWEEN TOP OF WALL AND STRUCTURE ABOVE

METAL TO WOOD FRAMING: WHEN ANCHORING METAL FRAMING TO WOOD FRAMING - AVOID SPLITTING WOOD MEMBERS BY PRE-DRILLING PILOT HOLES

METAL FRAMING BOX HEADER SCHEDULE

FOR USE AT NON-BEARING INTERIOR WALLS ONLY - REFER TO DETAILS

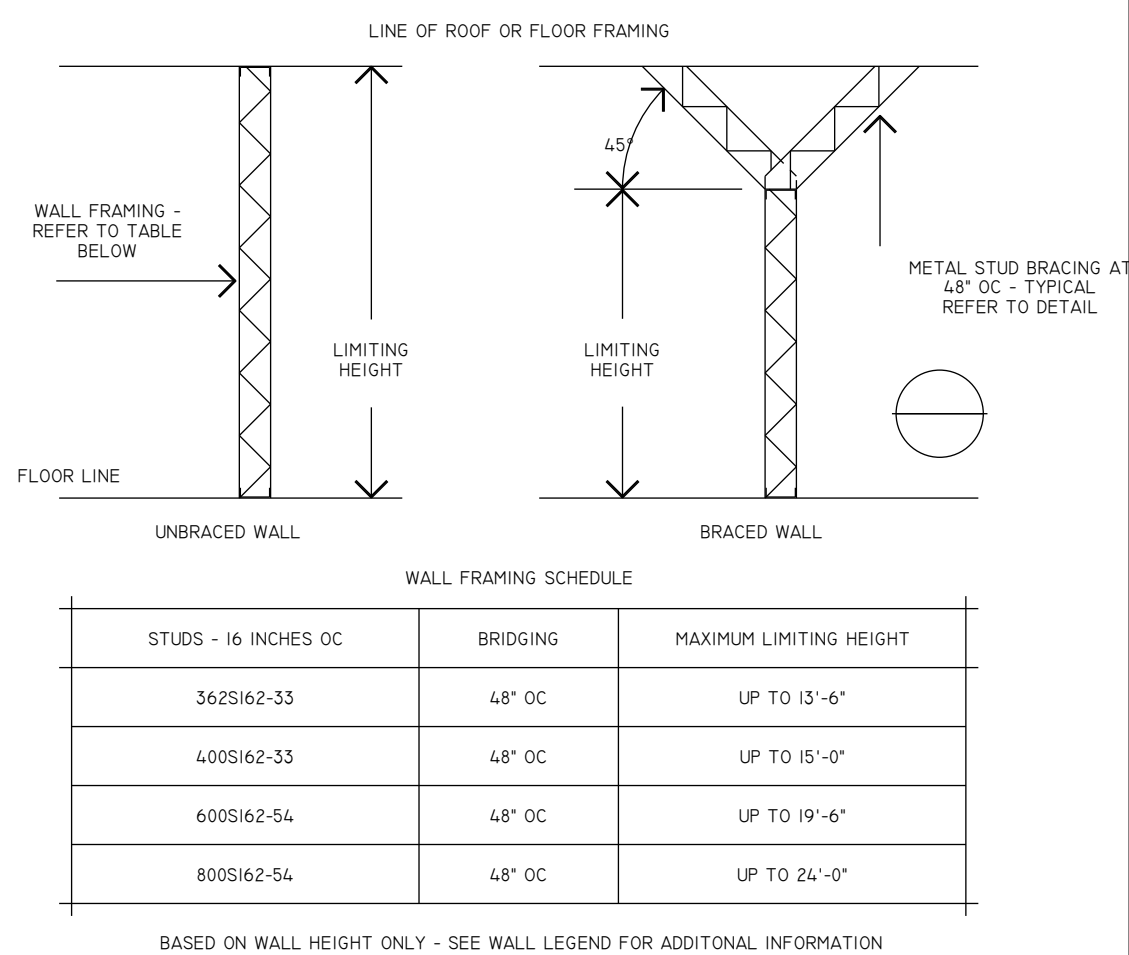
SPAN	BOXED HEADER ASSEMBLY	SILL ASSEMBLY
UP TO 4'-0"	[2] 362S162-33 BOXED HEADER	362T125-33 OR 600T125-33
4'-0" TO 5'-6"	[2] 400S125-54 BOXED HEADER	362T125-33 OR 600T125-33
5'-6" TO 9'-0"	[2] 600S125-54 BOXED HEADER	362T125-33 OR 600T125-33
9'-0" TO 11'-6"	[2] 800S162-54 BOXED HEADER	362T125-54 OR 600T125-54
OVER 11'-6"	REFER TO HEADER DETAIL ON THIS DRAWING	

CEILING JOISTS

REFER TO LIGHT GAUGE METAL FRAMING NOTES FOR ADDITIONAL INFORMATION ALL JOISTS WILL HAVE RIM JOIST OR TRACK INSTALLED AT EACH END AND HAVE CONTINUOUS LATERAL SUPPORT OF EACH FLANGE OVER ENTIRE LENGTH OF JOIST

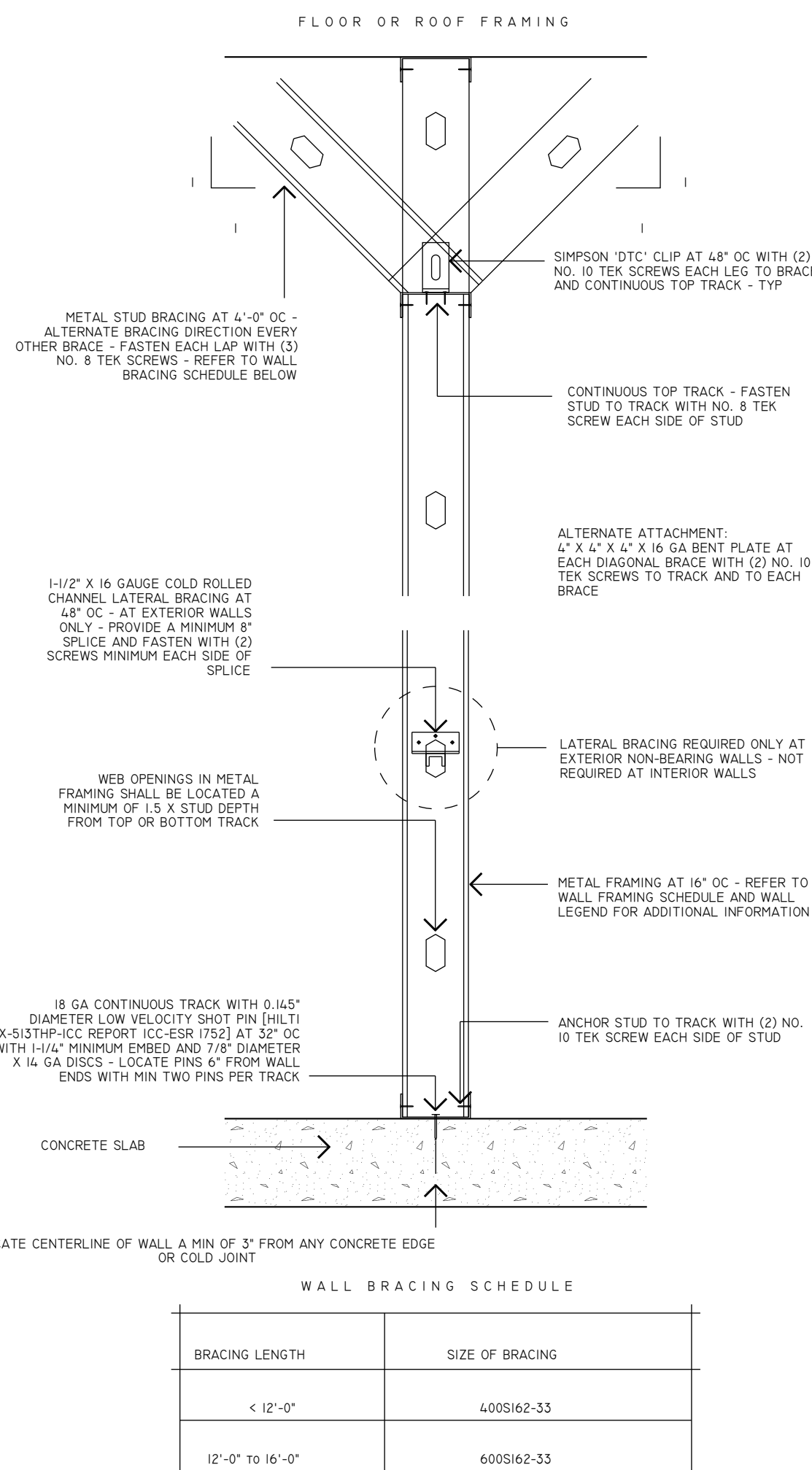
TABLE DESIGNATES JOISTS FOR SINGLE SPAN CEILINGS ONLY - WITH MAXIMUM IS PSF DESIGN LOAD - TABLE IS NOT FOR SPECIAL LOADING OR SUPPORT CONDITIONS

MAXIMUM SPAN	JOIST SIZE AND SPACING	BRIDGING
7'-4"	362S162-33 AT 24" O.C.	UNBRACED
8'-2"	362S162-33 AT 16" O.C.	UNBRACED
9'-4"	600S162-27 AT 16" O.C.	UNBRACED
10'-0"	362S162-33 AT 24" O.C.	MID-POINTS
11'-4"	362S162-33 AT 16" O.C.	MID-POINTS
12'-0"	600S162-33 AT 24" O.C.	MID-POINTS
13'-2"	600S162-33 AT 16" O.C.	MID-POINTS



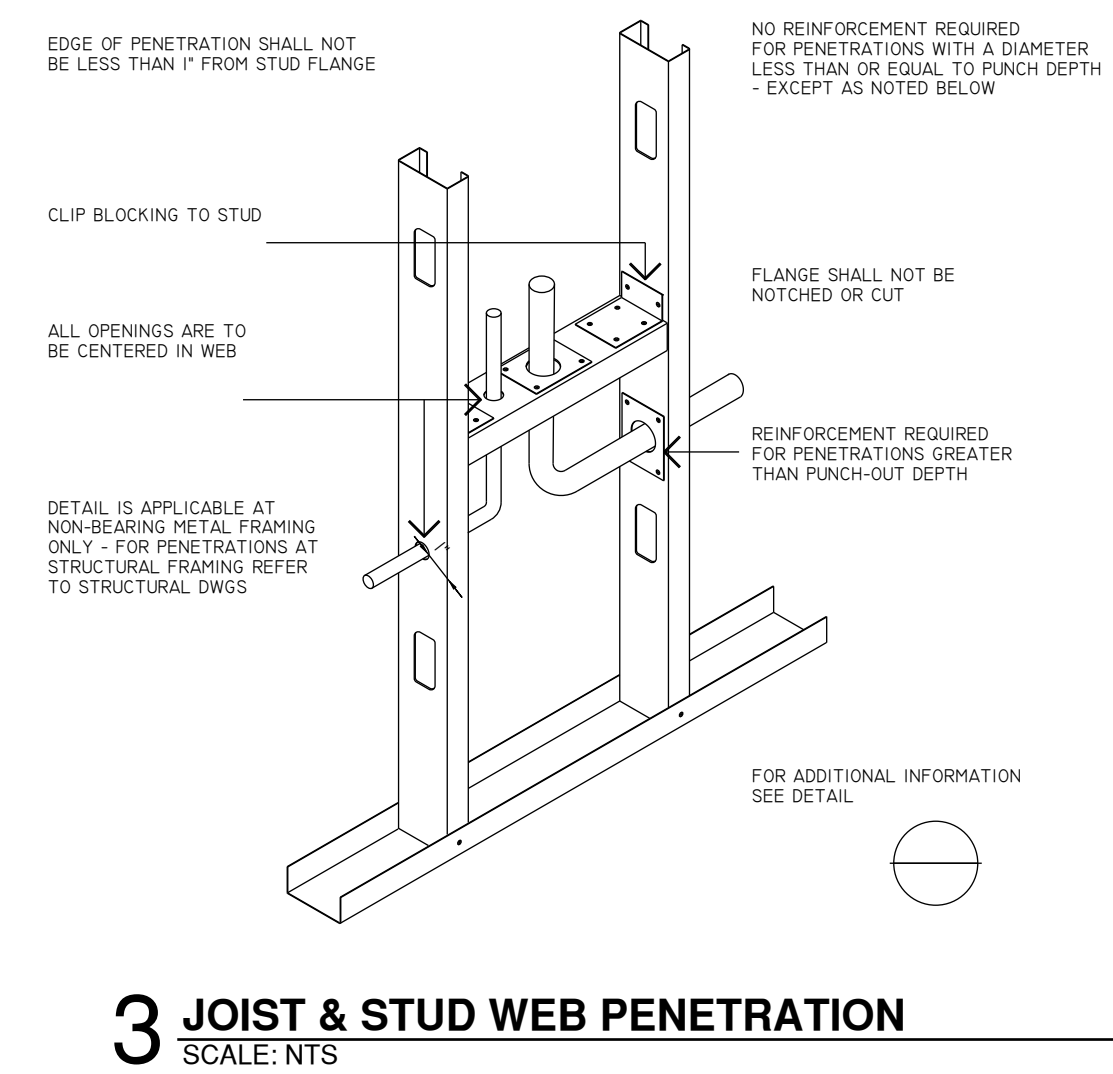
1 WALL FRAMING SCHEDULE

SCALE: NTS



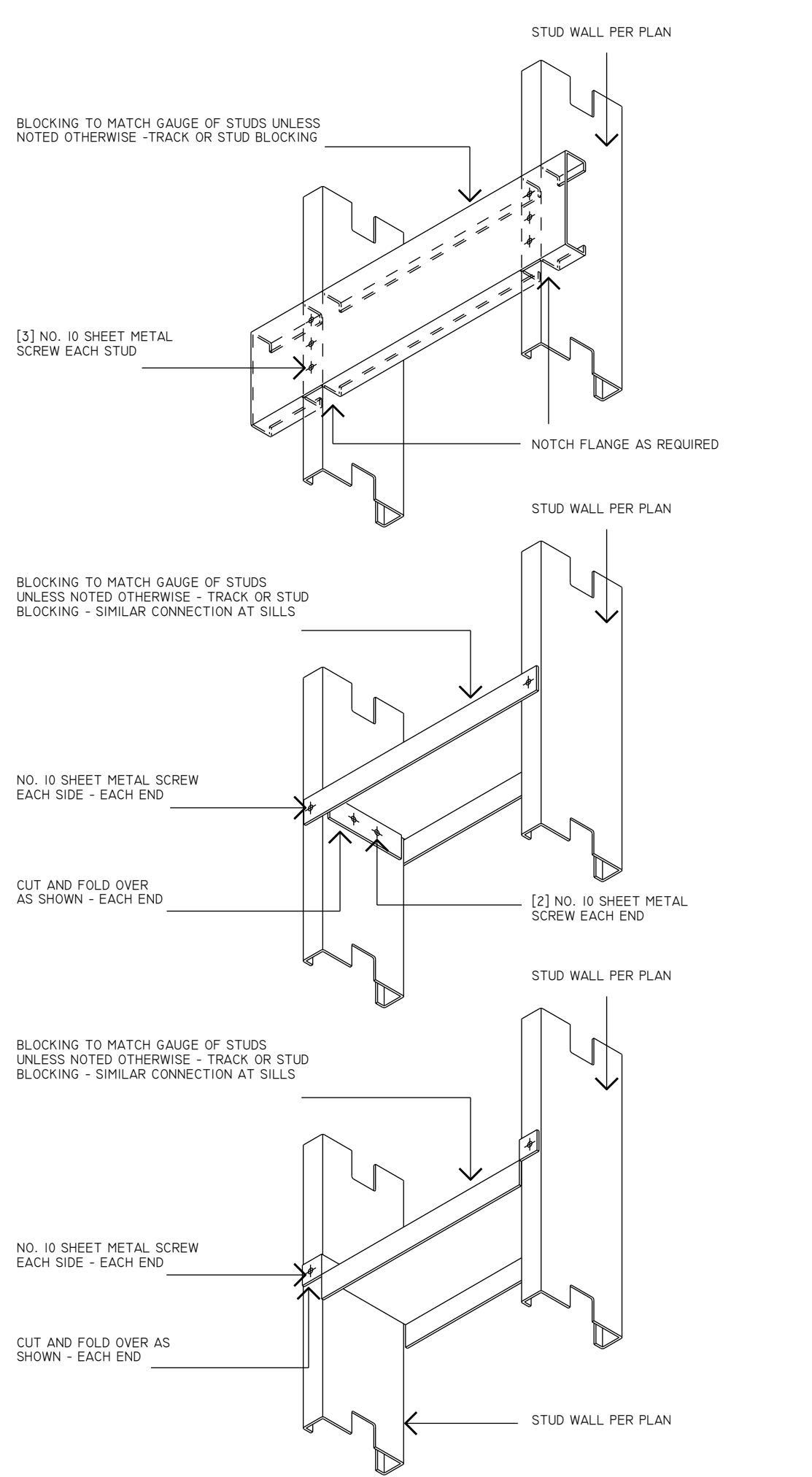
2 TYP LIGHT GAUGE METAL WALL FRAMING

SCALE: NTS



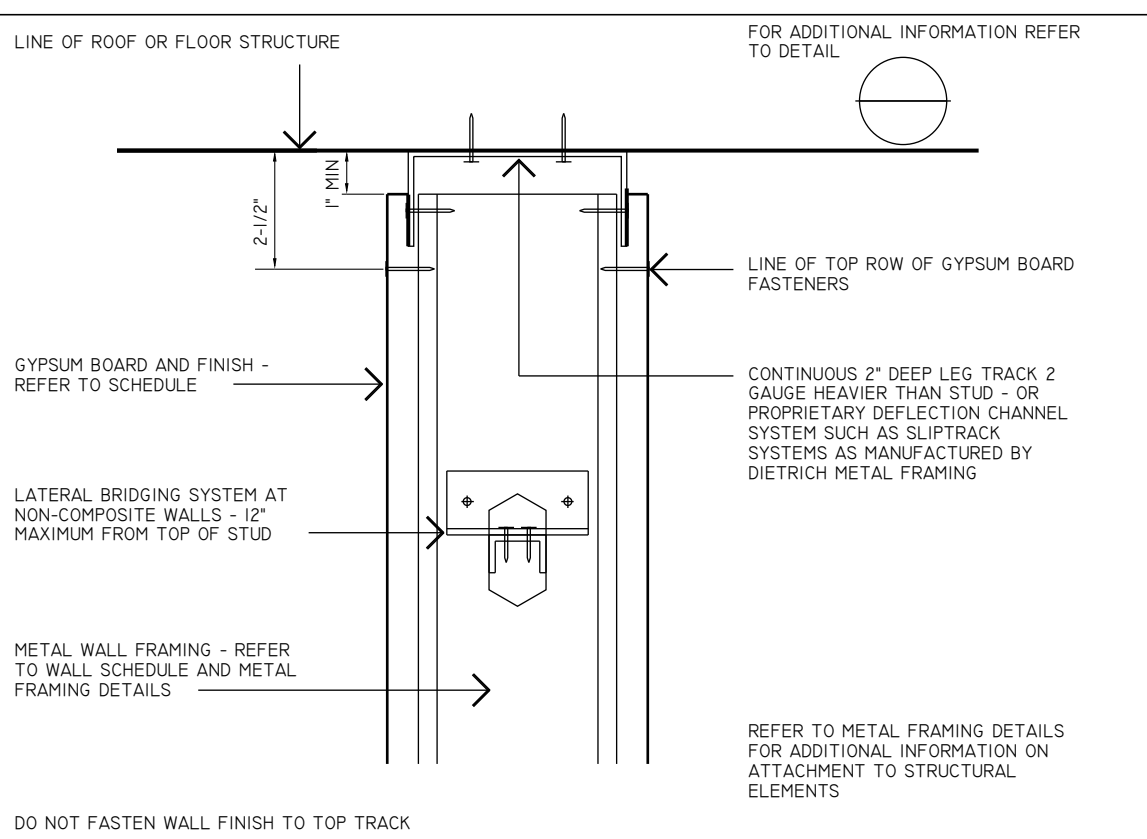
3 JOIST & STUD WEB PENETRATION

SCALE: NTS



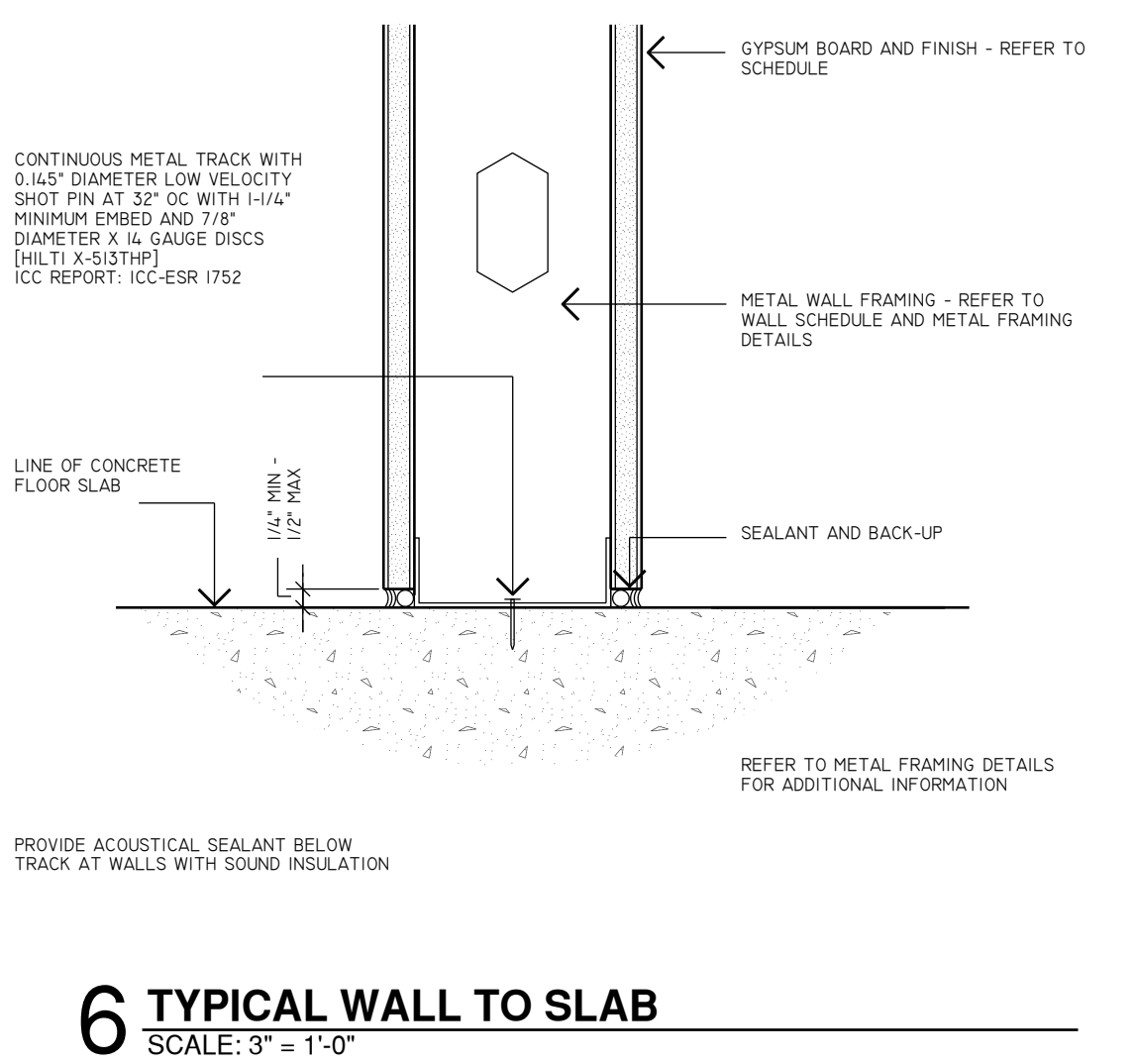
4 MTL STUD WALL BLOCKING (SILL SIM.)

SCALE: NTS



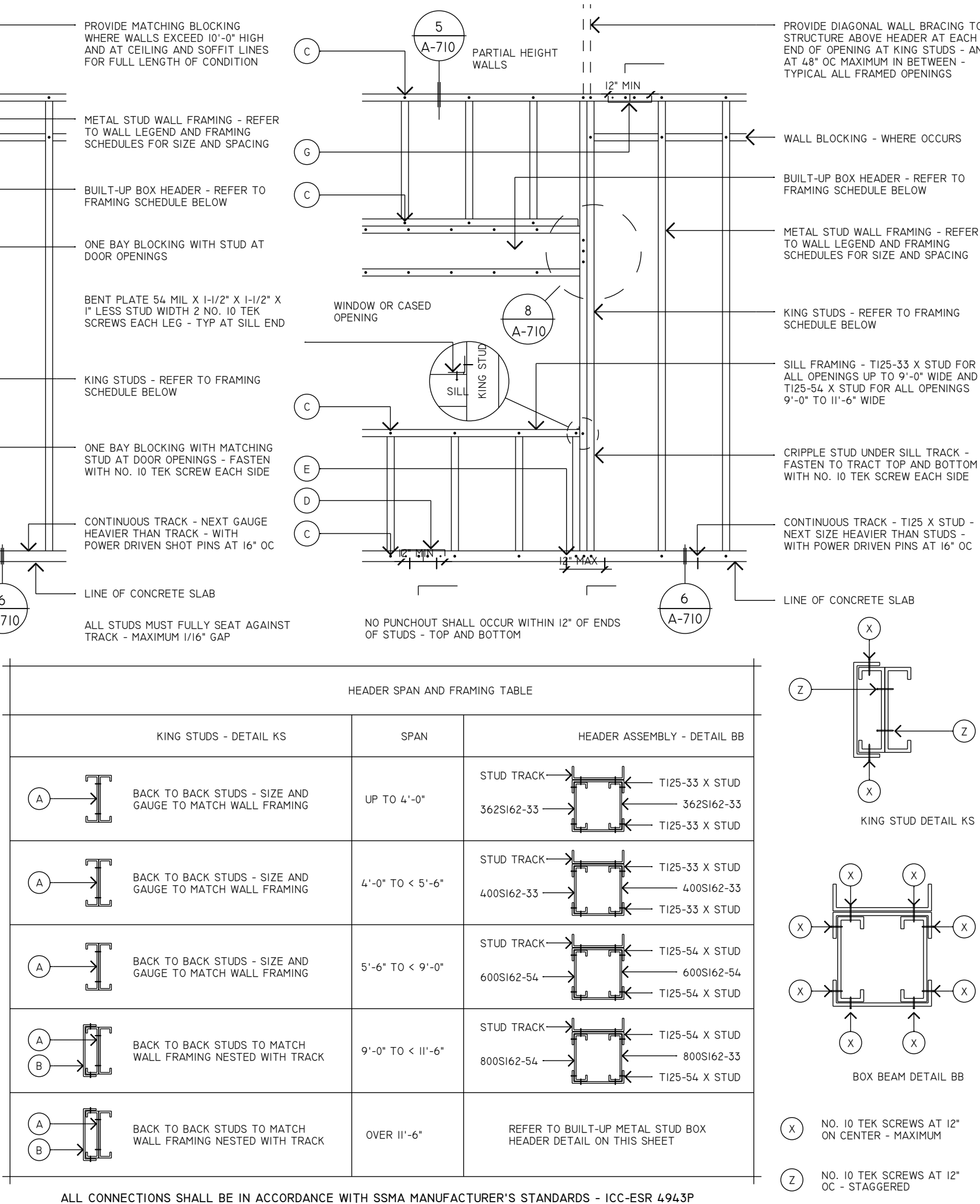
5 FULL HEIGHT WALL TO STRUCTURE ABOVE

SCALE: 3" = 1'-0"



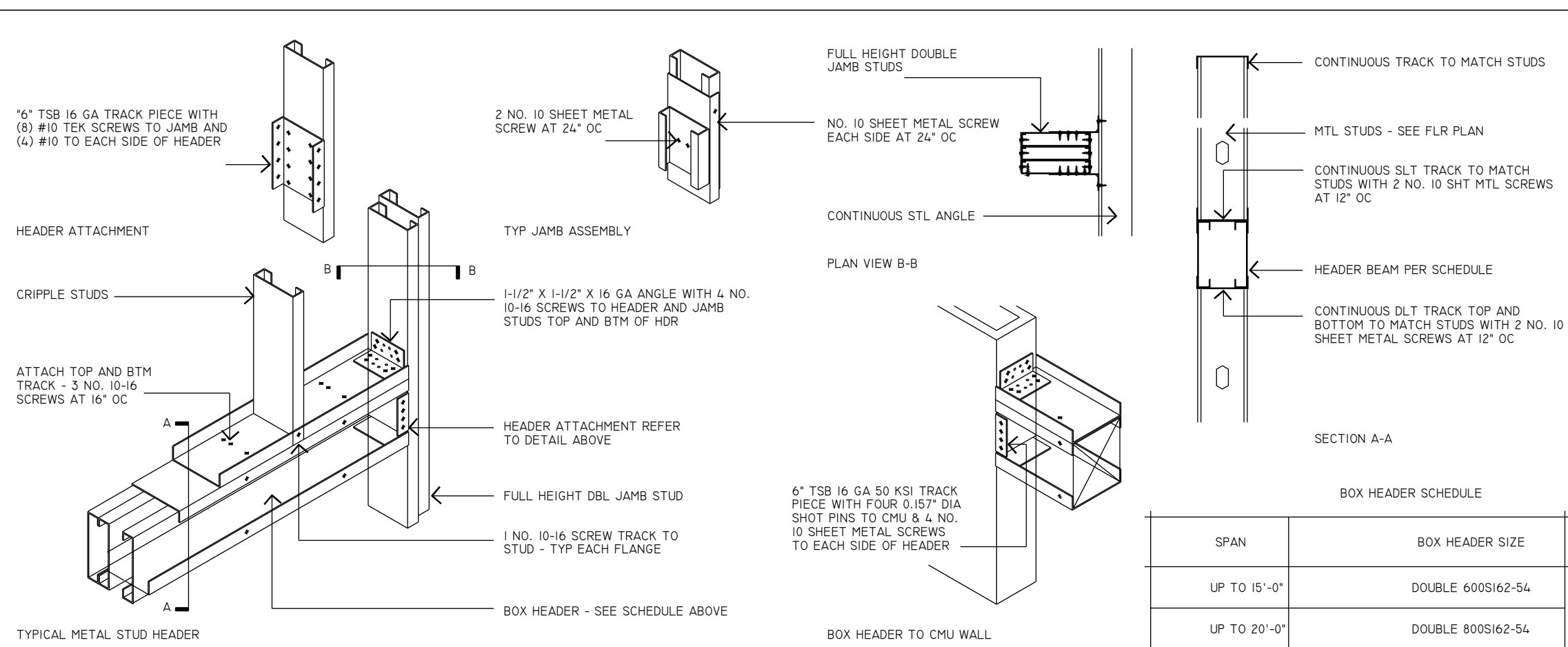
6 TYPICAL WALL TO SLAB

SCALE: 3" = 1'-0"



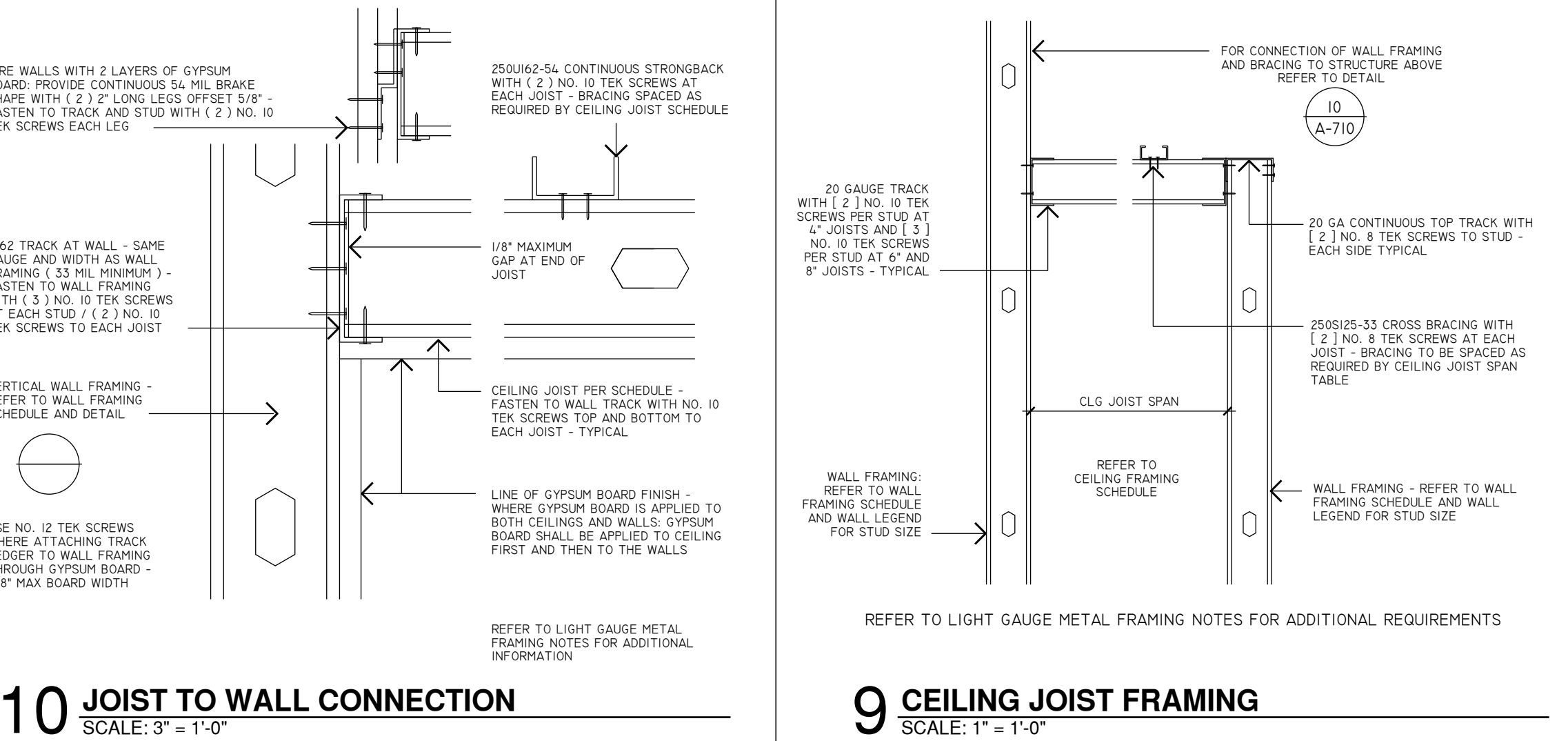
7 FRAMING OF NON-BEARING METAL STUD WALLS AND WALL OPENINGS

SCALE: NTS



8 BUILT-UP METAL STUD BOX HEADER - INTERIOR NON BEARING ONLY

SCALE: NTS



9 CEILING JOIST FRAMING

SCALE: 1" = 1'-0"

10 JOIST TO WALL CONNECTION

SCALE: 3" = 1'-0"



EXISTING WALLS DESIGNATED TO BE FIRE-RATED WALLS WHICH ARE NOT TIGHT TO DECK ABOVE OF
WITH OPENINGS WITHIN
AREA OF WORK SHALL BE BROUGHT TIGHT TO DECK ABOVE AND HAVE OPENINGS COMPLETELY FILLED AND
RE-TOURNOURED TO MATCH EXISTING
REQUIRED - WHERE EXISTING PARTITION ACTS AS RATED DEMISING WALL VERIFY EXISTING HOURLY RATING
AND PROVIDE
NECESSARY RECONDITIONING TO BRING PARTITION TO MEET CURRENT UL DESIGN RATINGS INCLUDING
EXISTING /
PENETRATIONS - REMOVE EXISTING GYPSUM BOARD / INSTALL NEW WHERE WATER-RESISTANT BOARD IS
SCHEDULED