

**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION**
1105 Jefferson Avenue
Waco, TX 76701

PROJECT TEAM

ARCHITECT	OWNER	MANAGEMENT
NISBET ARCHITECTURE, LLC 215 S. 2ND ST. - #307 WACO, TEXAS 76701 PH: (254) 910-8010	BEHAVIORAL HEALTH NETWORK CLARAS CENTER FOR FAMILIES 1105 JEFFERSON AVENUE WACO, TX 76701 PH: (254) 752-7889	CUMMING GROUP 913 FRANKLIN AVE WACO, TEXAS 76712 PH: (254) 301-7781

DRAWING INDEX

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LEVEL 2 ALTERATION OF 1,035 SF OF AN EXISTING TWO STORY BUILDING WITH NO CHANGE OF OCCUPANCY.

GENERAL PROJECT NOTES

GENERAL NOTES:

1. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK; EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LOCAL CODES AND ORDINANCES & DEED RESTRICTIONS. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TEST, ECT. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
3. BRING ALL ERRORS, OMISSIONS, AND DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
4. THESE DRAWINGS ARE INTENDED TO BE SCHEMATIC IN NATURE. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DRAWING DOCUMENTS, DIMENSIONS AND FIELD CONDITIONS FOR COMPLIANCE WITH THE DESIGN INTENT. NOTIFY THE ARCHITECT IN THE EVENT OF INCONSISTENCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE BEGINNING WORK. THE START OF WORK SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED.
6. CONTRACTOR TO COORDINATE STRUCTURAL FRAMING, ELECTRICAL, PLUMBING & MECHANICAL WORK.
7. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS AND COORDINATION OF ALL TRADES.
8. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SERVING THE SITE.
9. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
10. FOR DIMENSIONAL PURPOSES:
 - a. DO NOT SCALE DRAWINGS
 - b. ALL NEW INTERIOR WALLS ARE 2X4 STUDS AT 16"O.C. DIMENSIONED TO FACE OF STUD.
 - c. STRUCTURAL WALLS WITH 2X4 STUDS AT 16"O.C ARE ACCEPTABLE ONLY TO A HEIGHT OF 12 FEET. 2X4 STUD WALLS EXCEEDING 12 FEET IN HEIGHT WILL REQUIRE STRUCTURAL ANALYSIS TO VERIFY STUD SPACING AND/OR ADDITIONAL BRACING.
 - d. EXISTING WALLS ARE DIMENSIONED TO EXISTING FINISH FACE.
 - e. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AS REQUIRED FOR COMPLETION OF WORK.
11. FOAM SEAL ALL INTERIOR AND EXTERIOR WALL CAVITY OPENINGS, I.E. HOSE BIBS, ELECTRICAL BOXES, ETC.
12. SEAL ALL SILL PLATES.
13. PROVIDE SOLID LUMBER BLOCKING IN WALL FOR MISCELLANEOUS FIXTURES AND HARDWARE, I.E. TOWEL BARS, CLOSET SHELVING, CABINETS, CEILING FANS, ETC. WHERE SUCH FIXTURES ARE INDICATED ON THE PLANS.
14. ADJUST HEIGHT OF FLOOR STRUCTURE TO ALIGN ALL FINISH SURFACES UNLESS SPECIFICALLY INDICATED OTHERWISE.

ALTERNATES	
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1. ALL WORK TO BE PROVIDED IN ROOMS **B100, B101 & B108** OF EAST WING TO BE PROVIDED AS AN ADD-ALT. ADD ALTERNATE IS FOR MODIFYING THE ROOMS AS INDICATED. BASE BID SHALL STILL INCLUDE NEW FINISHES WITHIN THESE ROOMS REGARDLESS OF ADD ALTERNATE.
2. LVT1 FLOORING IN OFFICES TO BE PROVIDED AS AN ADD-ALT.

BUILDING INFORMATION

CODE ENFORCEMENT JURISDICTION:
CITY OF WACO, TEXAS (MCLENNAN COUNTY)

SITE ZONING:

APPLICABLE CODES:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL FIRE CODE
2012 TEXAS ACCESSIBILITY STANDARDS
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
CITY OF WACO LANDSCAPE ORDINANCE

TDLR REGISTRATION NUMBER: TABS2025026553

BUILDING PLANNING SUMMARY

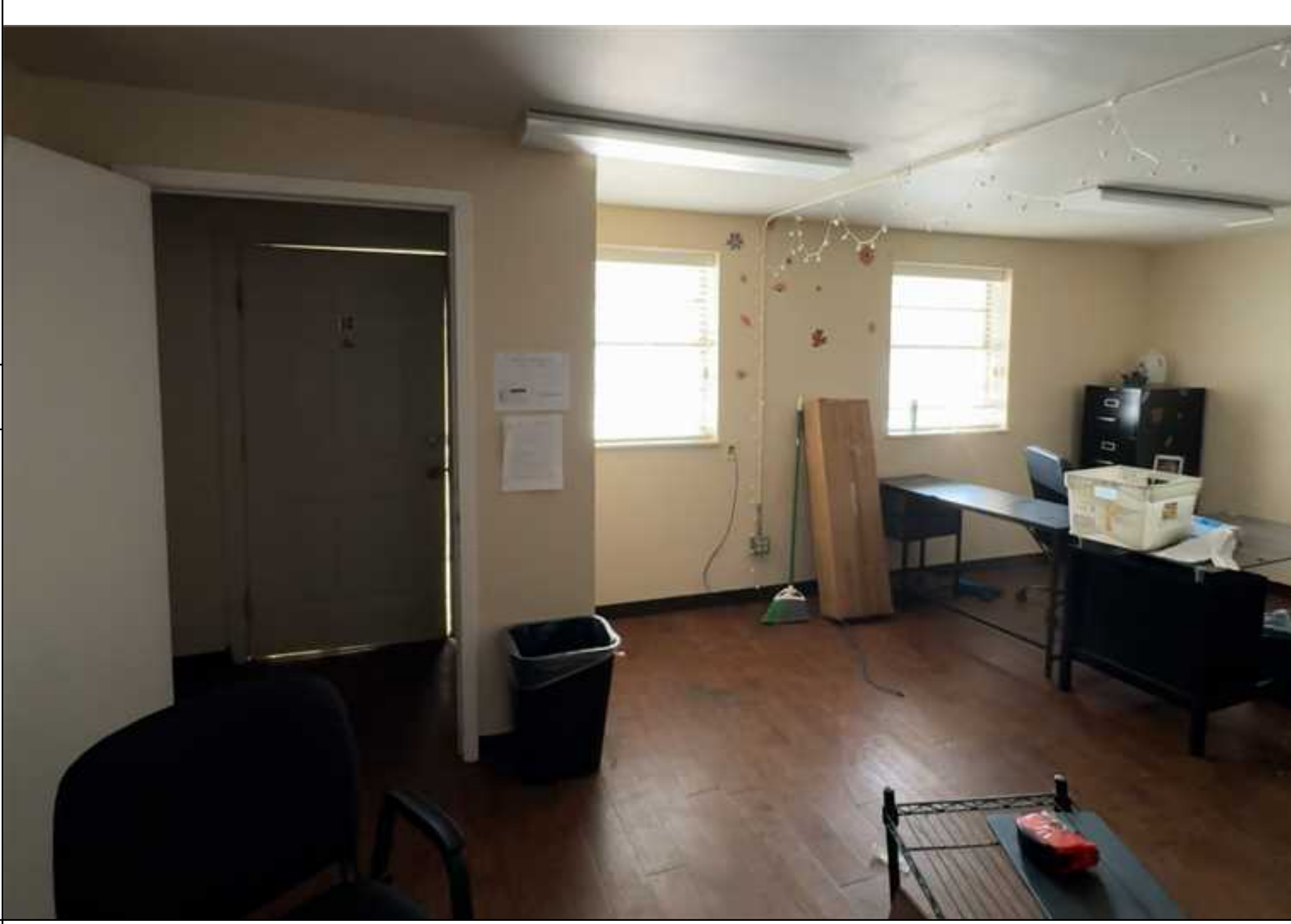
- CODE REFERENCE: ALL WORK IN THIS PROJECT SHALL BE IN ACCORDANCE WITH REQUIREMENTS SET FORTH BY THE GOVERNING AGENCY OF THIS LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE REGULATING AUTHORITY.
- CODE SUMMARY: THIS SUMMARY HIGHLIGHTS IMPORTANT & COMMON PLANNING AND SAFETY COMPLIANCE ISSUES, BUT IT IS NOT INTENDED TO BE CONSIDERED AS CONCLUSIVE OF ALL REQUIREMENTS. ITEMS IN QUESTION NEED TO BE REFERENCED DIRECTLY TO THE CODE AND OR THE LOCAL CODE ENFORCEMENT OFFICER.
- COMPLIANCE RESPONSIBILITY: ALL CONTRACTORS ARE RESPONSIBLE FOR ALL CODES GOVERNING THEIR WORK AS WELL AS ALL ATTENDING PERMITS, FEES, AND INSPECTIONS.

BUILDING SQUARE FOOTAGE	AREA
Area of Renovation	1,035 SF

BUILDING SQUARE FOOTAGE	AREA
Area of Renovation	1,035 SF

3. - COMPLIANCE RESPONSIBILITY: ALL CONTRACTORS ARE RESPONSIBLE FOR ALL CODES GOVERNING THEIR WORK AS WELL AS ALL ATTENDING PERMITS, FEES, AND INSPECTIONS.

A photograph of an office interior. In the foreground, there is a wooden desk with a large black board leaning against it. To the right, there are several black filing cabinets. In the background, there is a doorway leading to another room, a clock on the wall, and a person sitting at a desk.

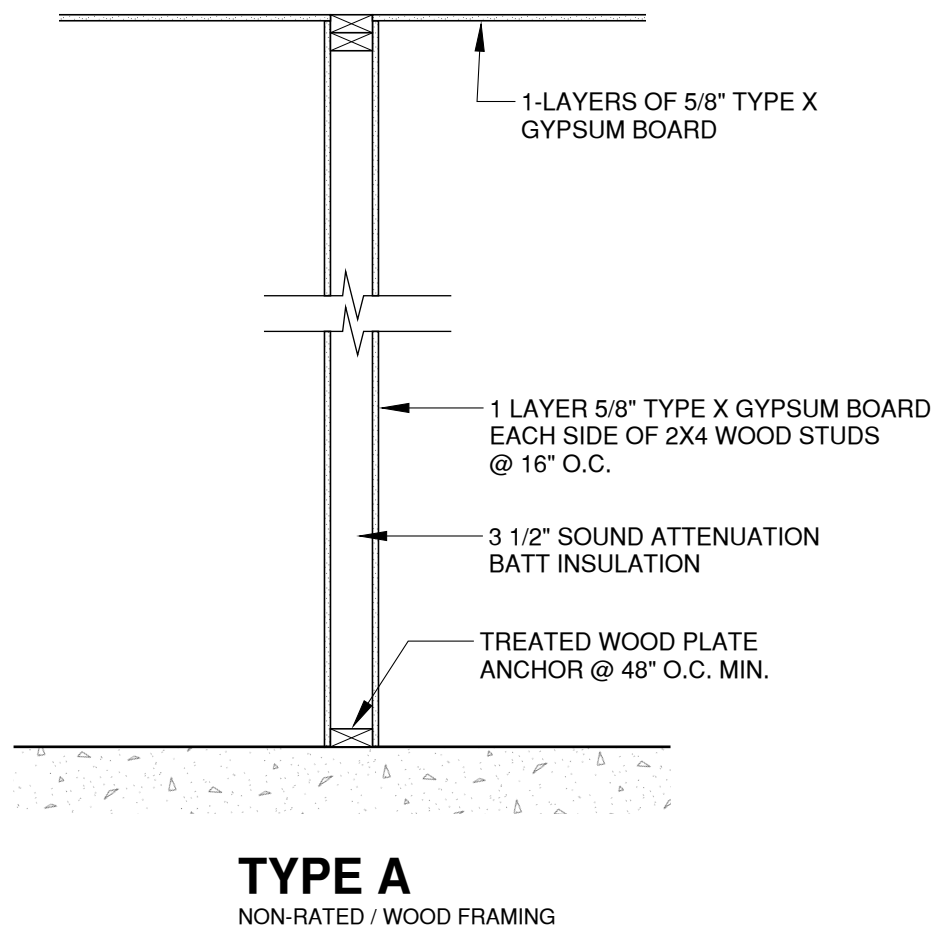


This aerial map shows the area around Waco High School. The 'SITE' is located at the intersection of N 11th St and N 12th St, marked with a red circle. Other streets visible include N 10th St, N 13th St, Barron Ave, Jefferson Ave, Columbus Ave, and Barnard St. Landmarks such as CE Cash Express, Chapman's Check Cashing, Exxon, Sherwin-Williams Paint Store, and a Skatepark are also labeled.

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1105 JEFFERSON AVE, WACO TEXAS**

COVER SHEET

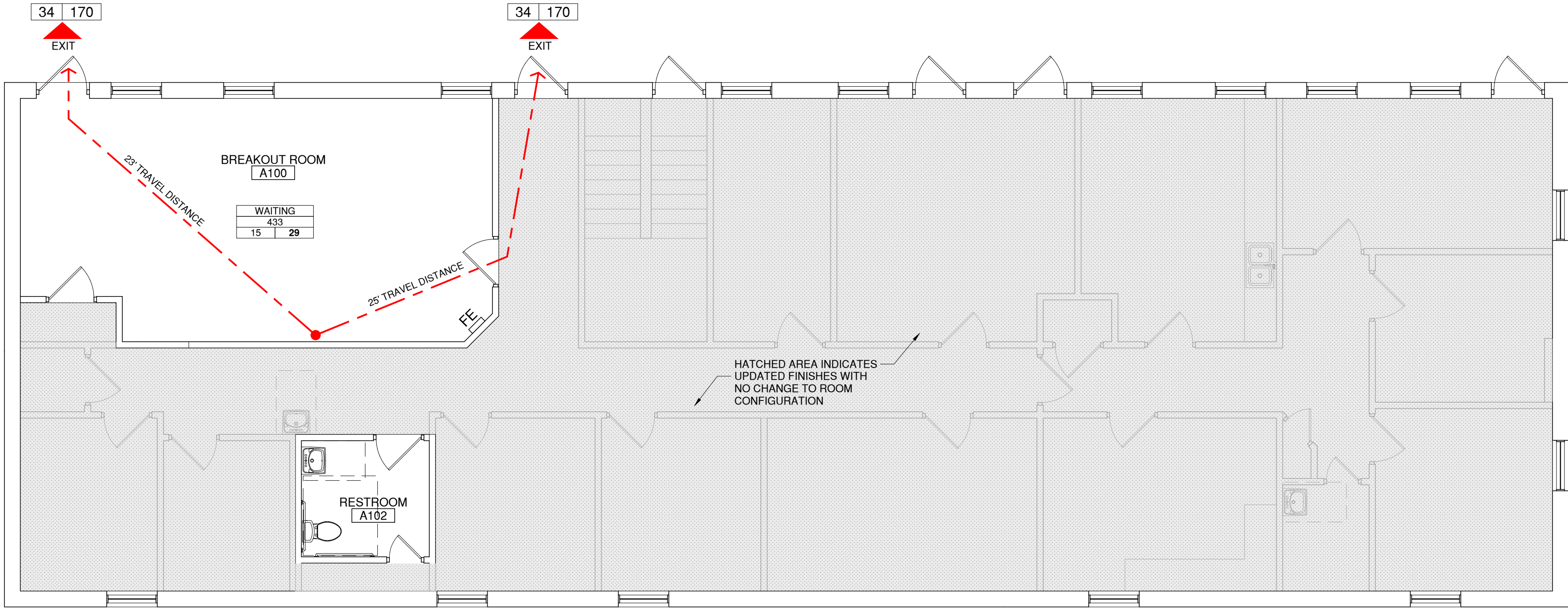
G-000



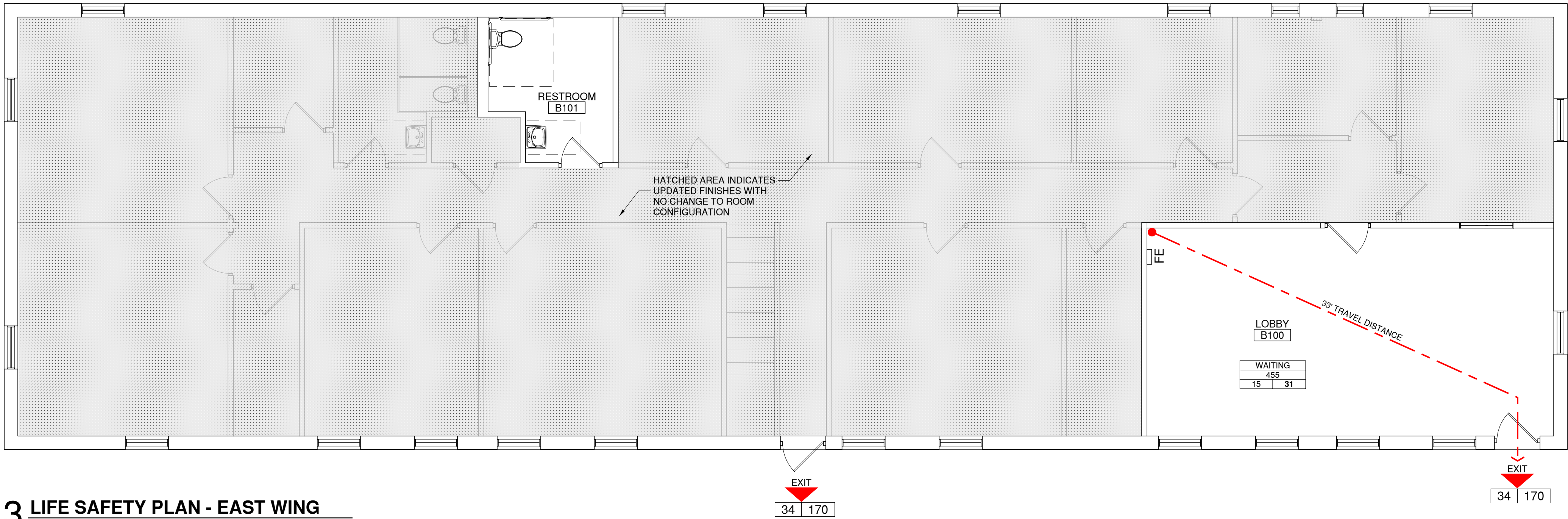
1 WALL TYPE
SCALE: 3/4"=1'-0"

OCCUPANCY LOAD AND EGRESS			
FUCTION OF SPACE - TABLE 1004.1.2		OCCUPANT LOAD	
ASSEMBLY AREAS		15 GROSS	
DESIGN BASED CALCULATION OF OCCUPANTS (ACTUAL)			
USE	DESIGN SF	LOAD FACTOR	CODE OCCUPANCY
WEST WING - DIVERSION ROOM	433	15	28.87
EAST WING - LOBBY	455	15	30.33
		TOTAL OCCUPANCY IN SCOPE	59.2
REQUIRED EGRESS WIDTH			
USE	OCCUPANCY	FACTOR	TOTAL WIDTH (IN.)
GROUP B - BUSINESS	59.2	0.2	11.84 (44" MIN)
NUMBER OF EXITS AND EXIT ACCESS DOORWAYS - TABLE 1006.3.1		REQUIRED	PROVIDED
1-500		2 EXITS MINIMUM	2 EXITS
500-1000		3 EXITS MINIMUM	NA
EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2		REQUIRED	PROVIDED
OCCUPANCY B		200'	PROVIDED < 200'
COMMON PATH OF TRAVEL - TABLE 1006.2.1		REQUIRED	PROVIDED
OCCUPANCY B		75'	PROVIDED < 75'

BUILDING CODE	
OCCUPANCY CLASSIFICATION:	BUSINESS B
FLOOR AREA IN SCOPE	1,035 SF
TOTAL BUILDING AREA - LEVEL 1	EAST WING - 3,460 SF
	WEST WING - 2,971 SF
CONSTRUCTION TYPE T.601 & SEC. 602.2	TYPE V B
FIRE PROTECTION SYSTEM	AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED
FIRE ALARM SEC. 907.2.2 GROUP B	FIRE ALARM NOT REQUIRED
FIRE EXTINGUISHERS	INSTALLED AT 75' TRAVEL DISTANCE : REFER PLAN
FIRE RESISTANCE RATINGS	
BUILDING ELEMENTS TABLE 601	TYPE V B
PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS (EXTERIOR)	0 HR
BEARING WALLS (INTERIOR)	0 HR
NONBEARING WALLS & PARTITIONS (EXTERIOR)	0 HR
NONBEARING WALLS & PARTITIONS (INTERIOR)	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
MISCELLANEOUS RATINGS	RATING
VERTICAL OPENINGS (SEC. 712.1.9)	0 HR
DUCT PENETRATIONS THRU NONFIRE RESITSTANCE RATED FLOOR ASSEMBLIES	0 HR
DRAFTSTOPPING IN ATTICS (718.4.3)	<3,000 SF
EXIT ACCESS STAIRWAYS (SEC.1019.3.1)	0 HR
CORRIDORS (T. 1020.1)	OCCUPANT LOAD <30 = 0 HR
EXIT ACCESS TRAVEL DISTANCE (T. 1017.2)	200 FEET
DEAD END CORRIDORS	20 FEET



2 LIFE SAFETY PLAN - WEST WING
SCALE: 3/16"=1'-0"



3 LIFE SAFETY PLAN - EAST WING
SCALE: 3/16"=1'-0"

CODE DATA LEGEND

PATH OF EGRESS TRAVEL

EXIT AND EGRESS LOAD WIDTH INCHES / # OCCUPANTS

OCCUPANCY USE

ROOM SF

LOAD FACTOR

OCCUPANTS

FIRE EXTINGUISHER CABINET

GENERAL AREA

FOOD PREP

CABINETS

EXIT

68 340

ASSEMBLY

X X X

LARSSEN MPFS SERIES MULTI-PURPOSE CHEMICAL ABC EXTINGUISHER

LARSSEN WC6L WET CHEMICAL

LARSSEN VERTICAL DUO #4 STAINLESS STEEL DOOR

NISBET ARCHITECTURE

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(254)910-8010

Info@NisbetArchitecture.com

REGISTERED ARCHITECT

STATE OF TEXAS

27715

10-14-20

October 10, 2025

USE OF ARCHITECTS DOCUMENTS

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INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS

FILE NAME

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ISSUE DATE

October 10, 2025

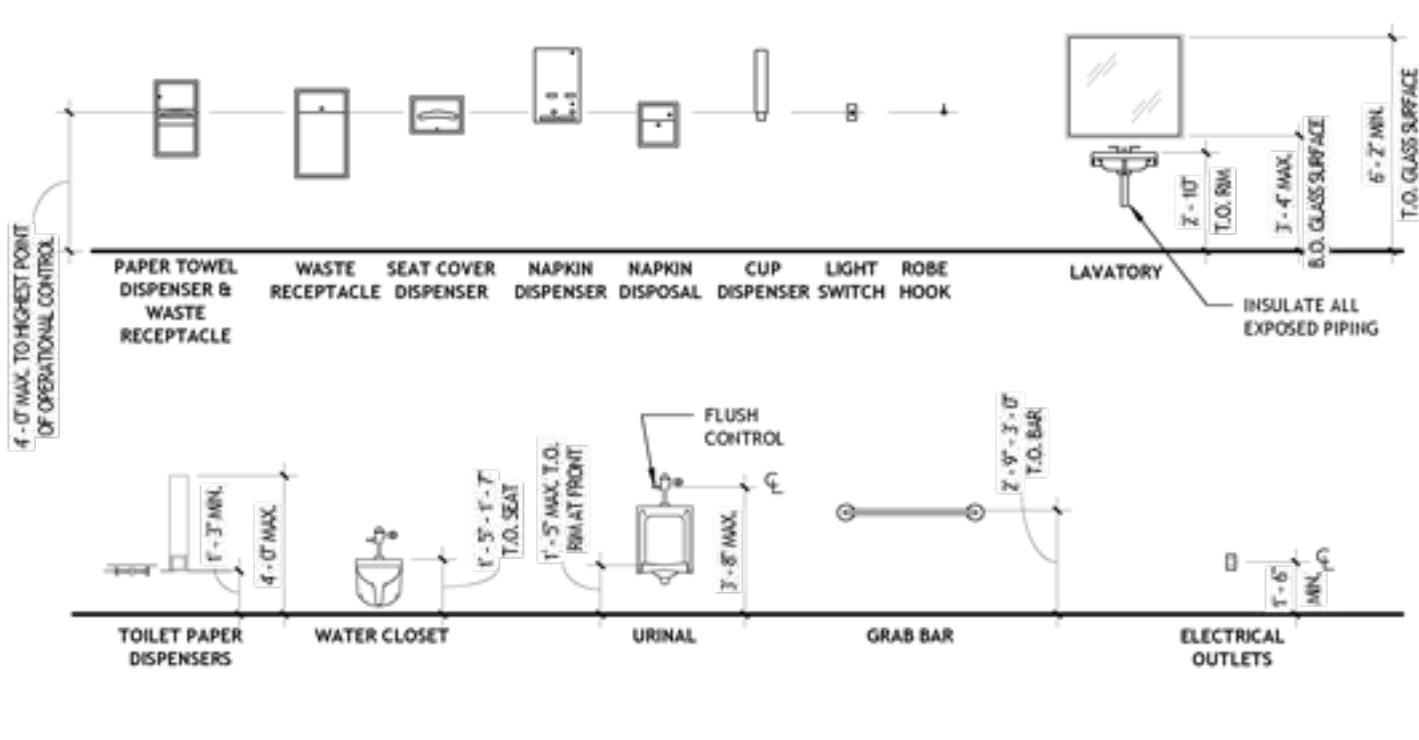
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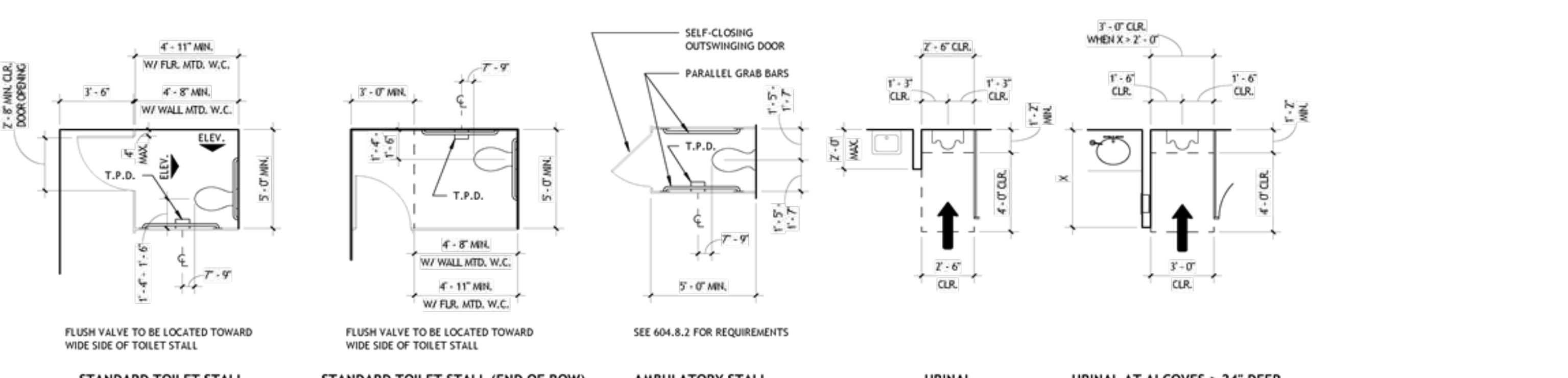
REVISION

CODE SUMMARY &
LIFE SAFETY PLANS
G-002

ACCESSIBLE MOUNTING HEIGHTS



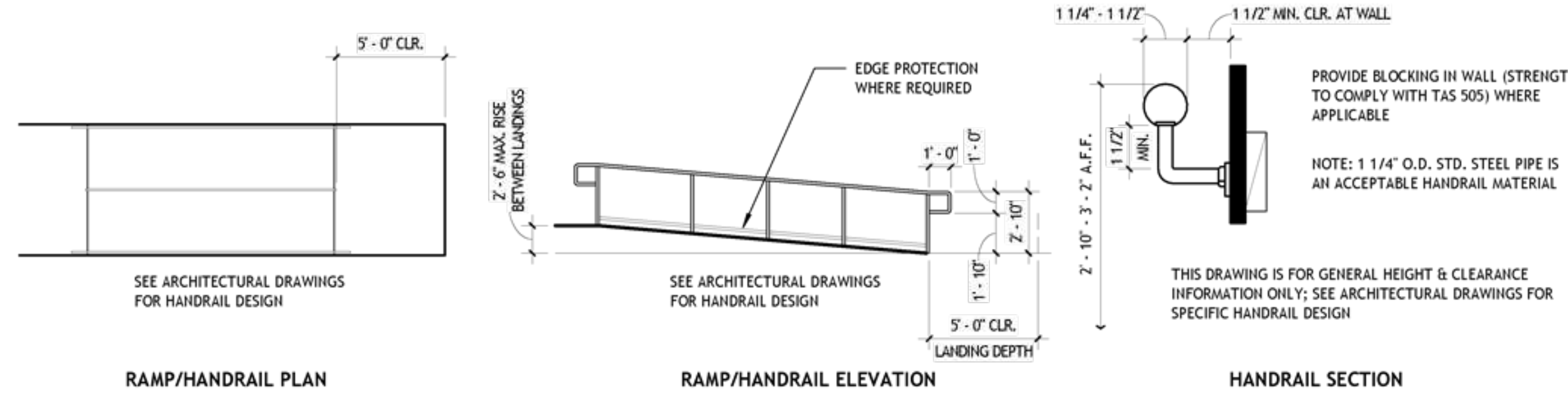
TOILET STALLS



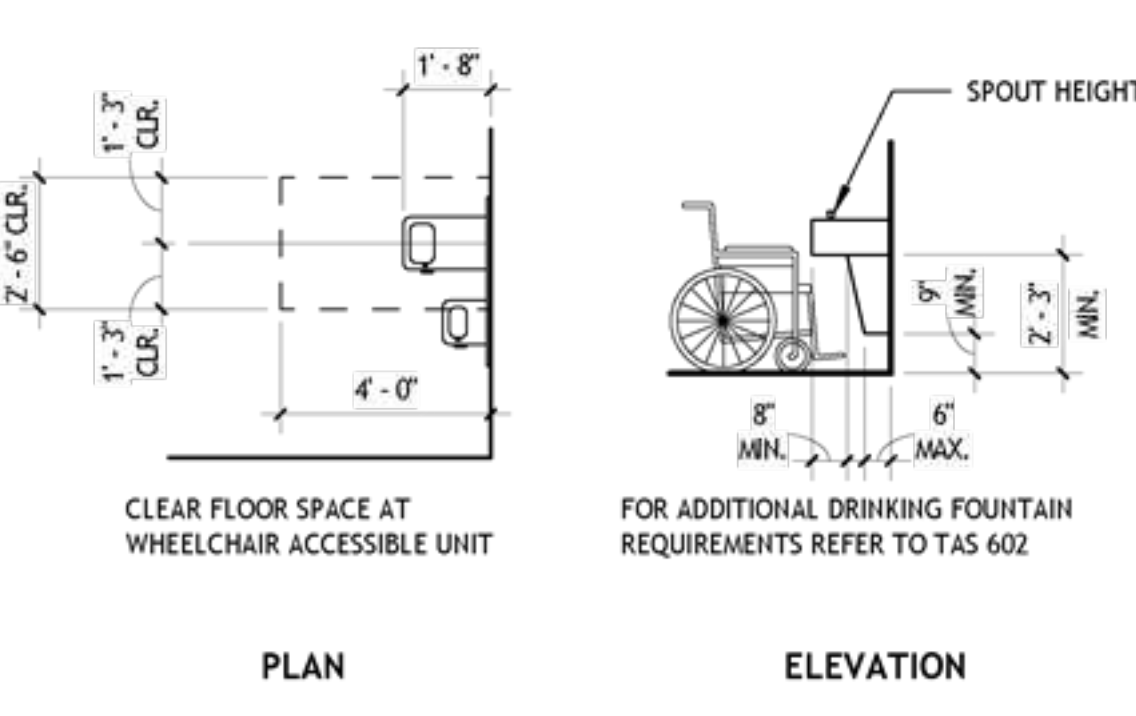
GENERAL NOTES ACCESSIBILITY:

- 1. SECTION NUMBERS ON THIS SHEET REFERENCE THE 2012 TEXAS ACCESSIBILITY STANDARDS (TAS) OF THE ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
- 2. REFERENCES TO ADA (AMERICANS WITH DISABILITIES ACT) THROUGHOUT CONSTRUCTION DRAWINGS SHALL MEAN COMPLIANCE WITH 2012 TAS.
- 3. IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN INFORMATION ON THIS SHEET AND INFORMATION SHOWN ELSEWHERE, THE INFORMATION ON THIS SHEET SHALL GOVERN.
- 4. INFORMATION SHOWN ON THIS SHEET IS THE MINIMUM REQUIREMENT FOR ACCESSIBILITY COMPLIANCE AND DOES NOT ADDRESS COMPLIANCE WITH OTHER CODES OR STANDARDS.
- 5. ALL DIMENSIONS SHOWN ARE TO THE APPLIED FINISH FACE. CONTRACTOR SHALL MAKE ALLOWANCES FOR THICKNESSES OF SCHEDULED FINISHES.
- 6. DRAWINGS ON THIS SHEET ARE NOT TO SCALE.
- 7. THIS IS A STANDARD SHEET. ALL INFORMATION SHOWN ON THIS SHEET DOES NOT NECESSARILY APPLY TO THIS PROJECT.

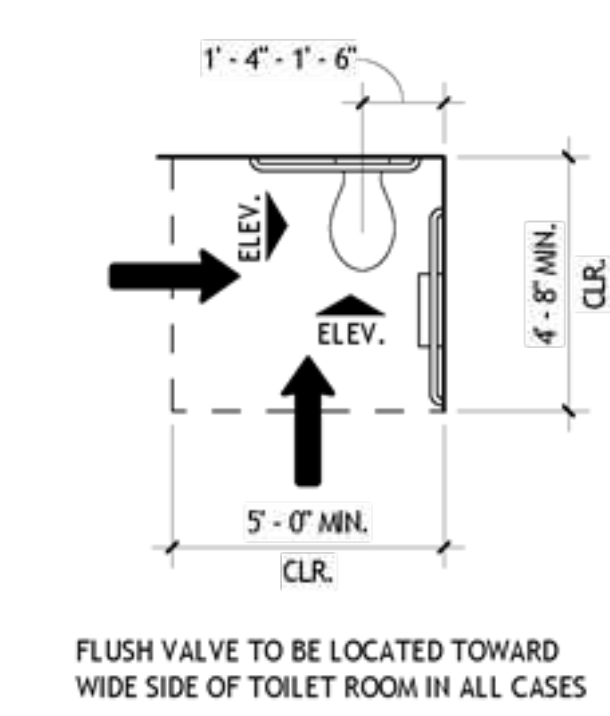
RAMPS AND HANDRAILS



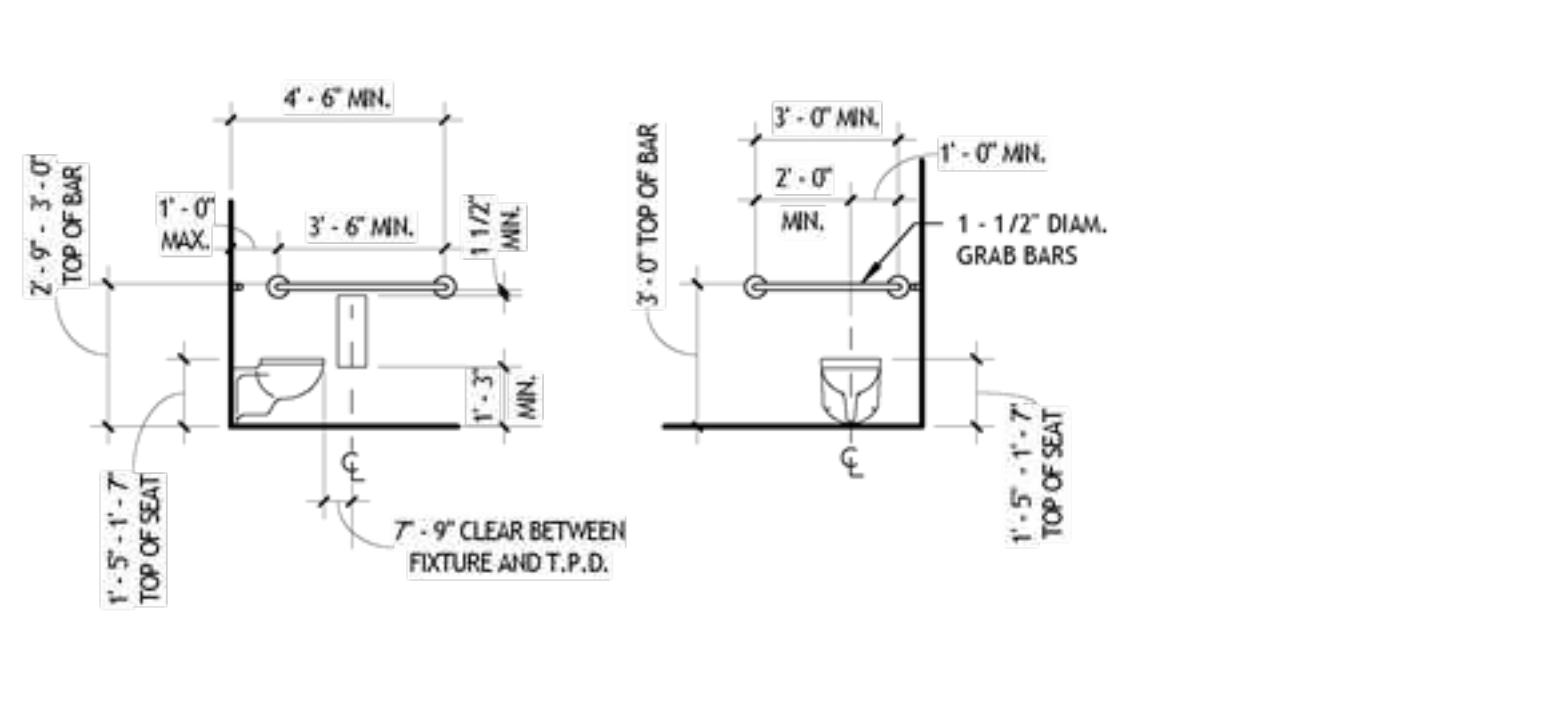
DRINKING FOUNTAINS



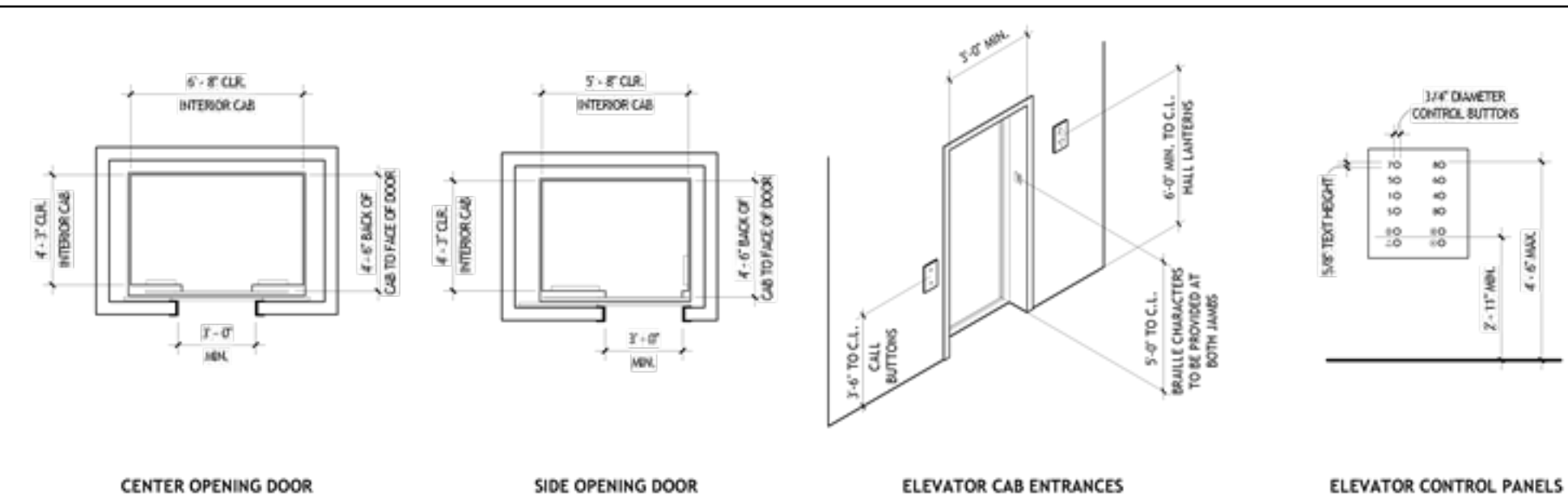
TOILETS (NON STALL)



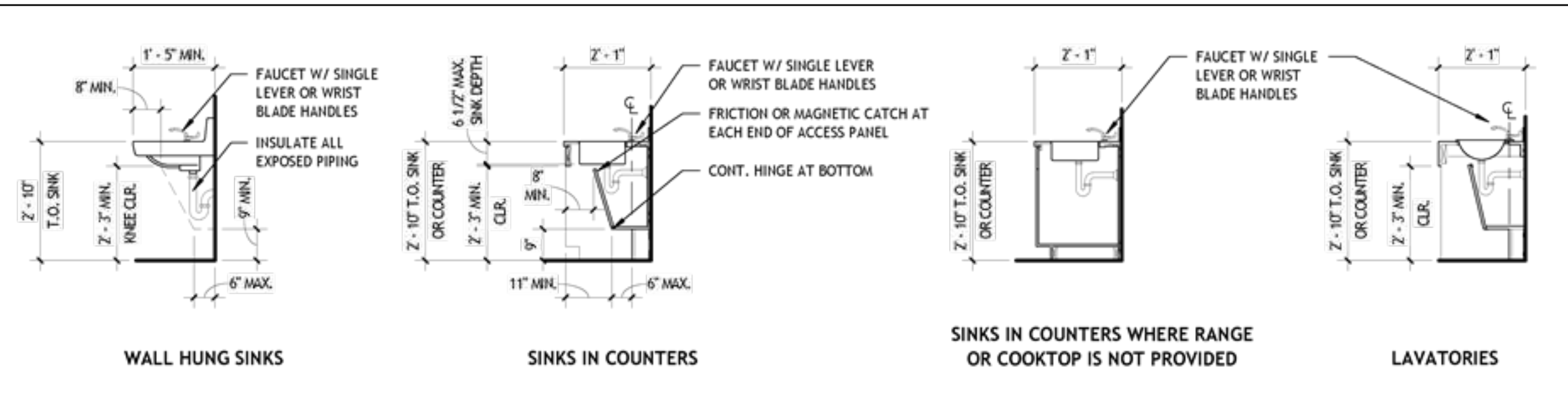
TOILET ELEVATIONS



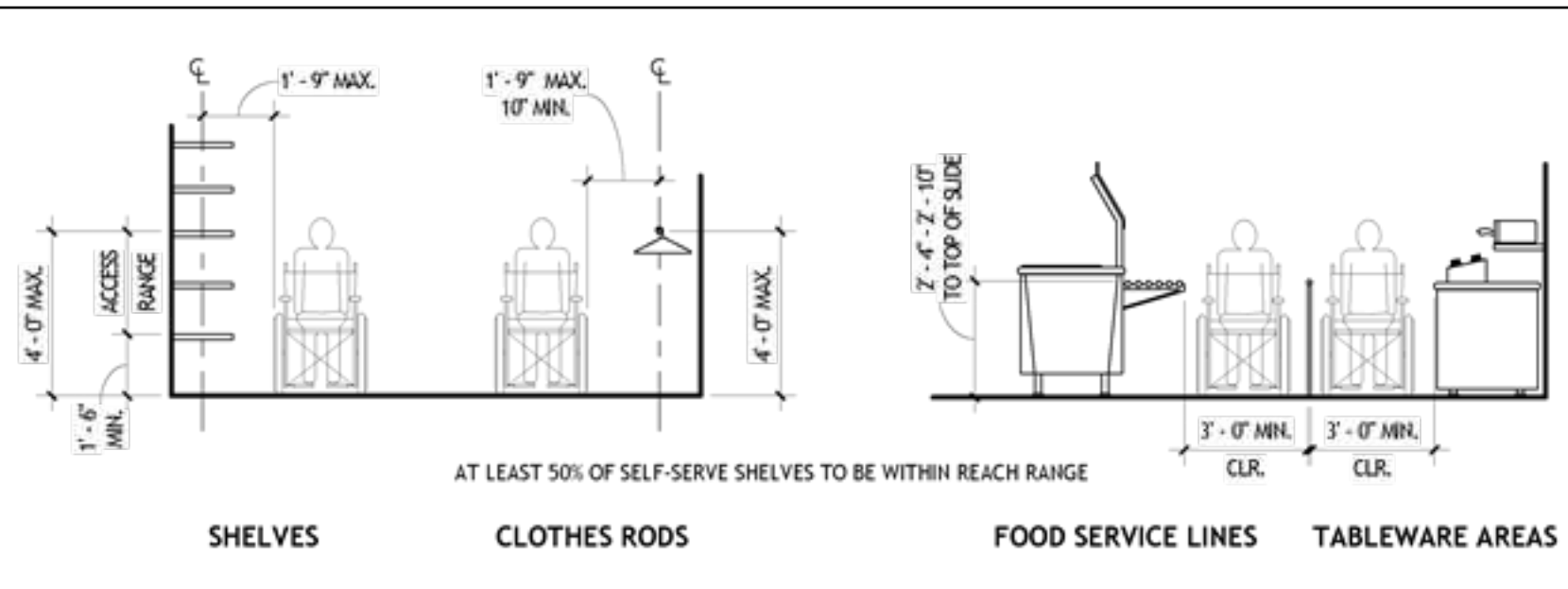
ELEVATORS



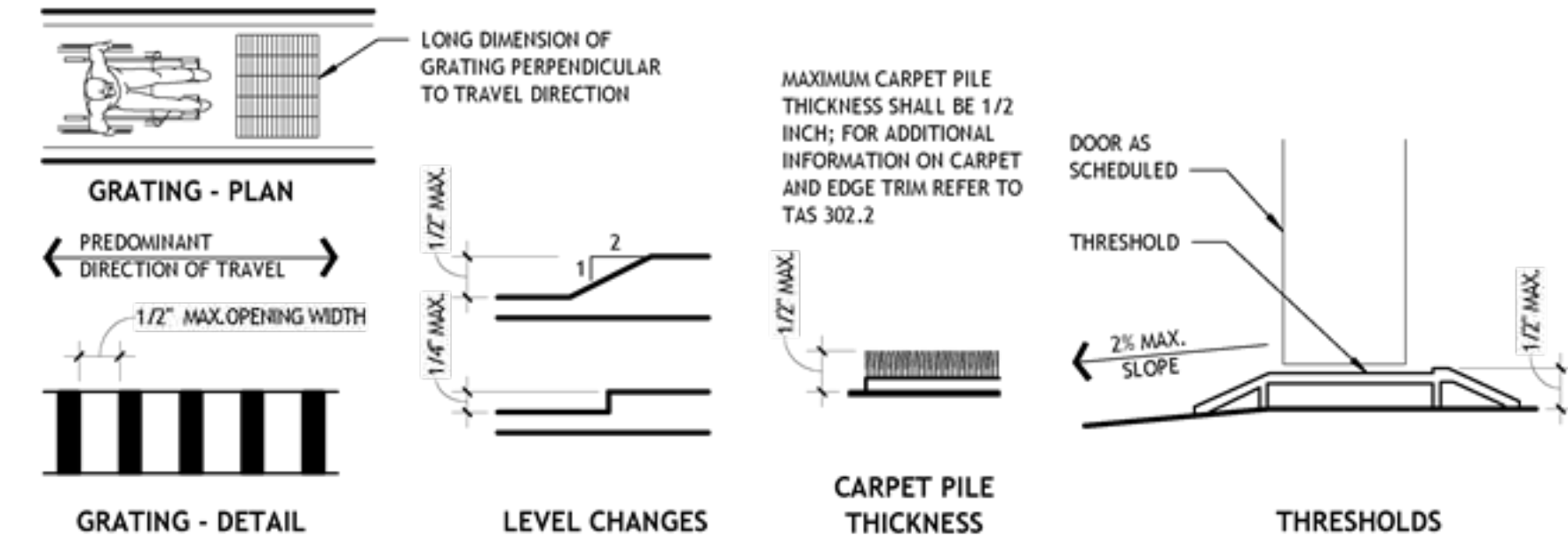
SINK AND LAVATORIES



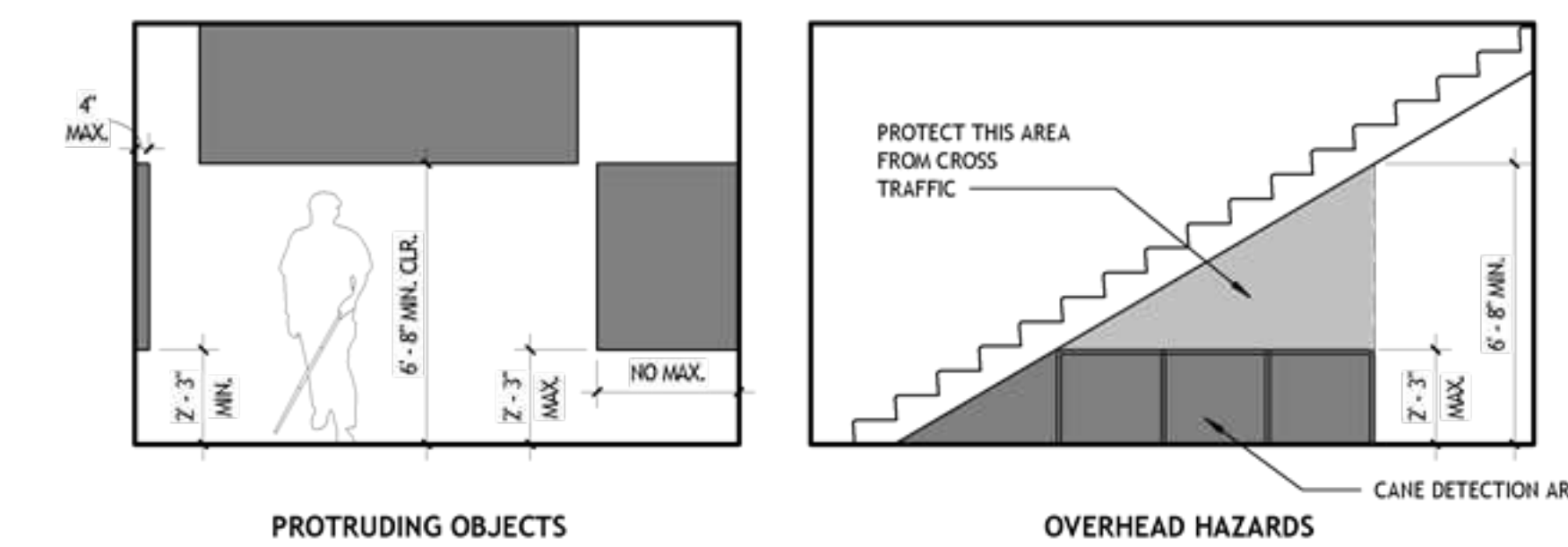
ACCESSIBLE REACH RANGES



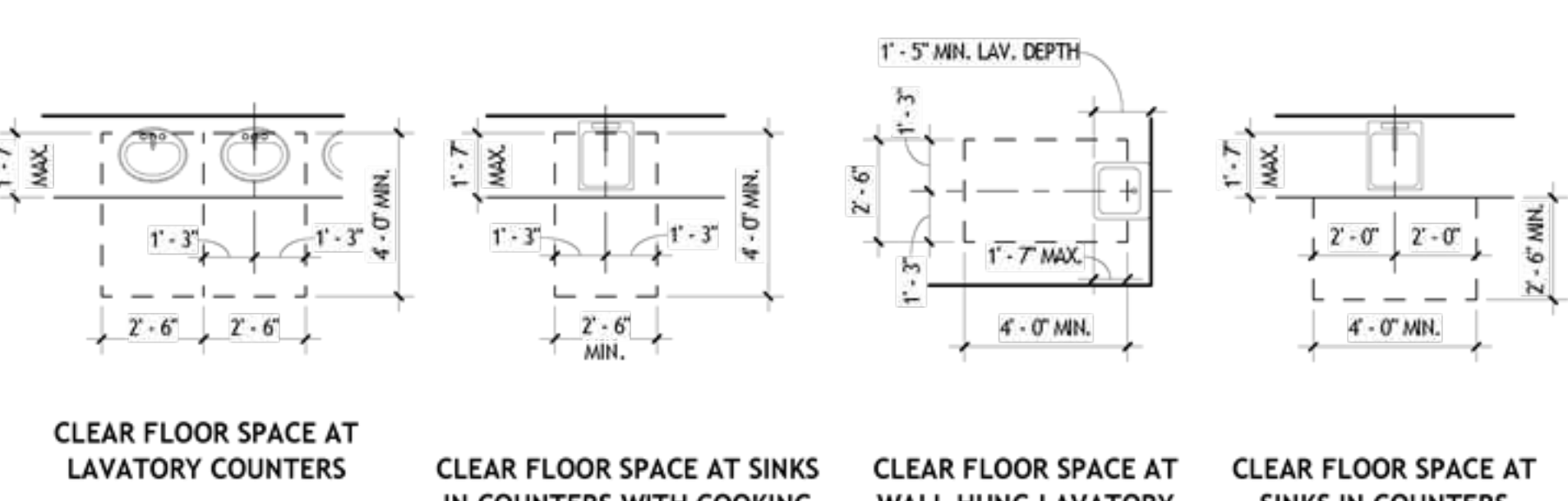
GROUND AND FLOOR SURFACES



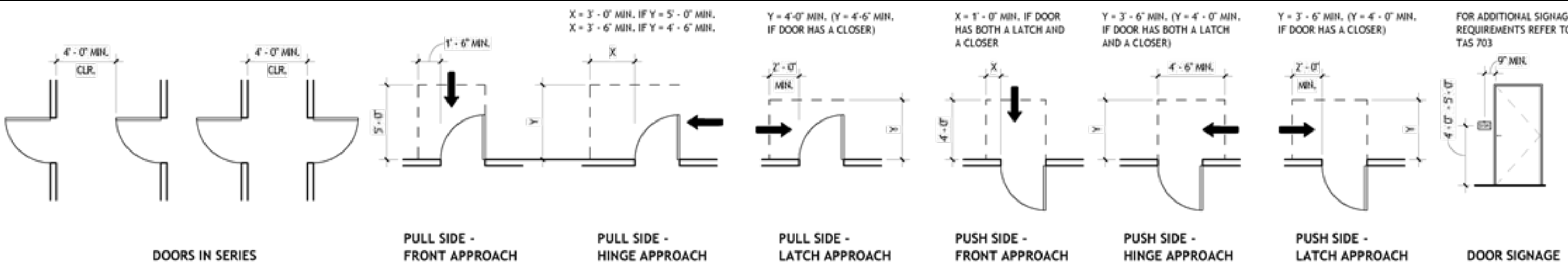
PROTRUDING OBJECTS AND OVERHEAD HAZARDS



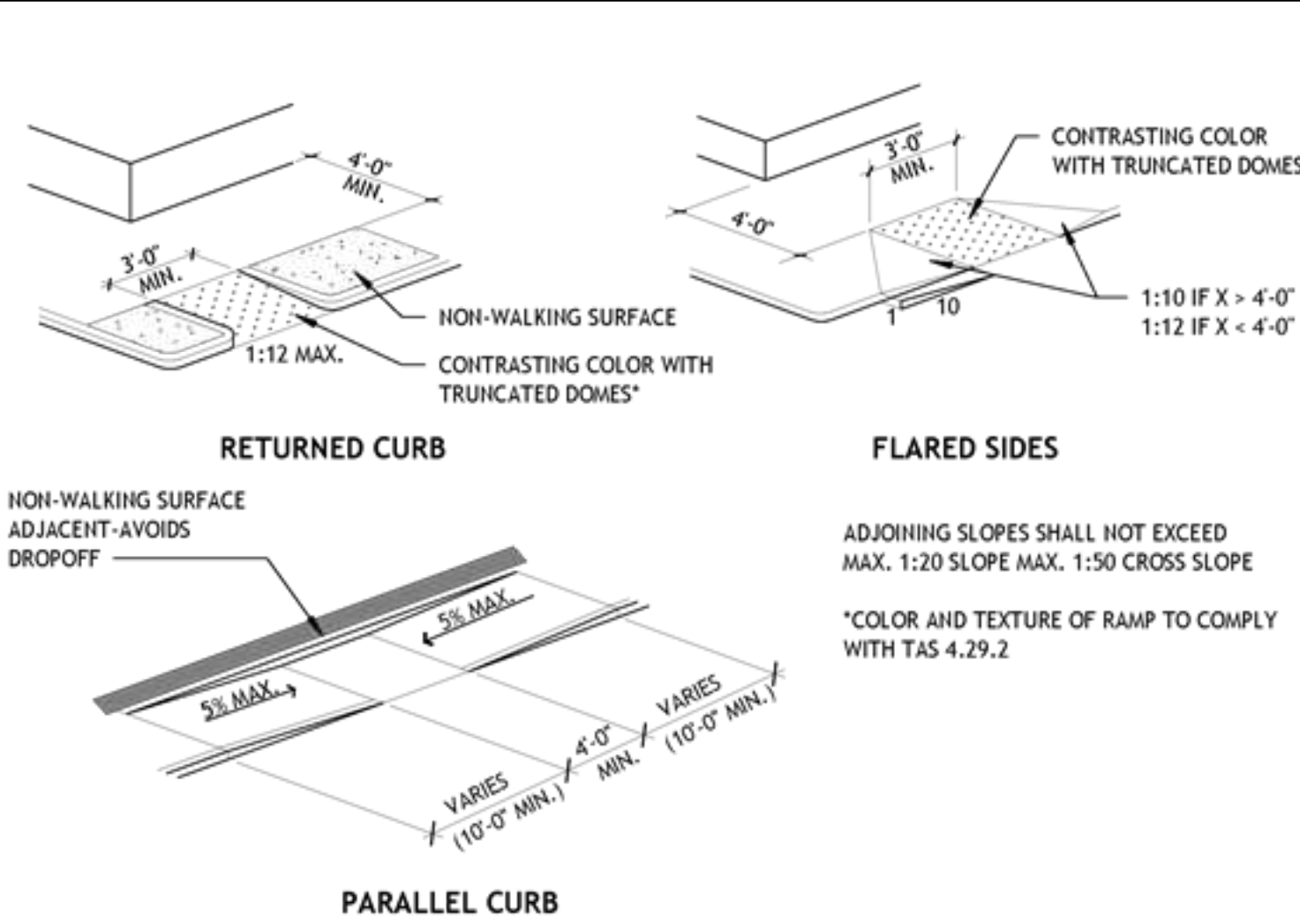
FLOOR CLEARANCES AT LAVATORIES AND SINKS



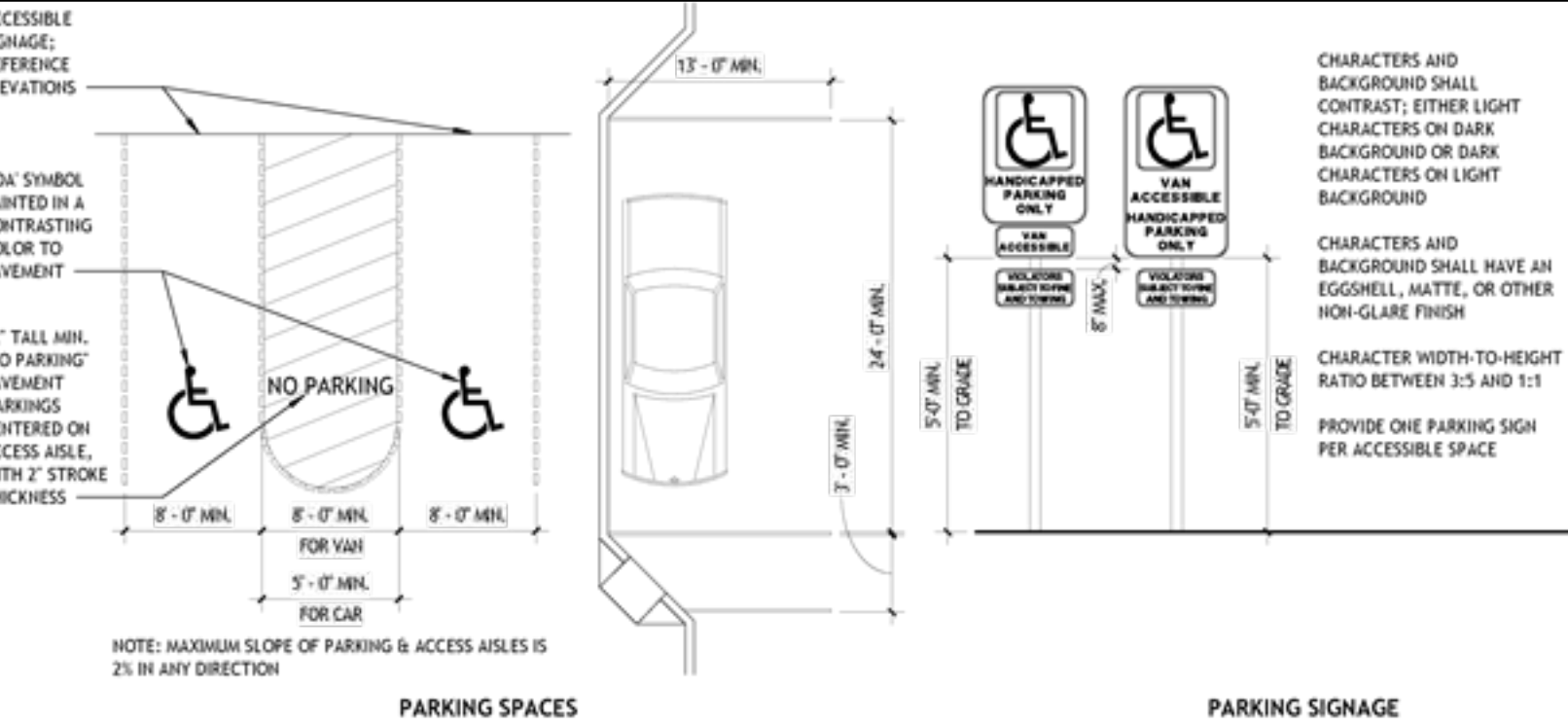
DOOR CLEAR SPACE AND SIGNAGE



CURB RAMPS



PARKING SPACES AND SIGNAGE



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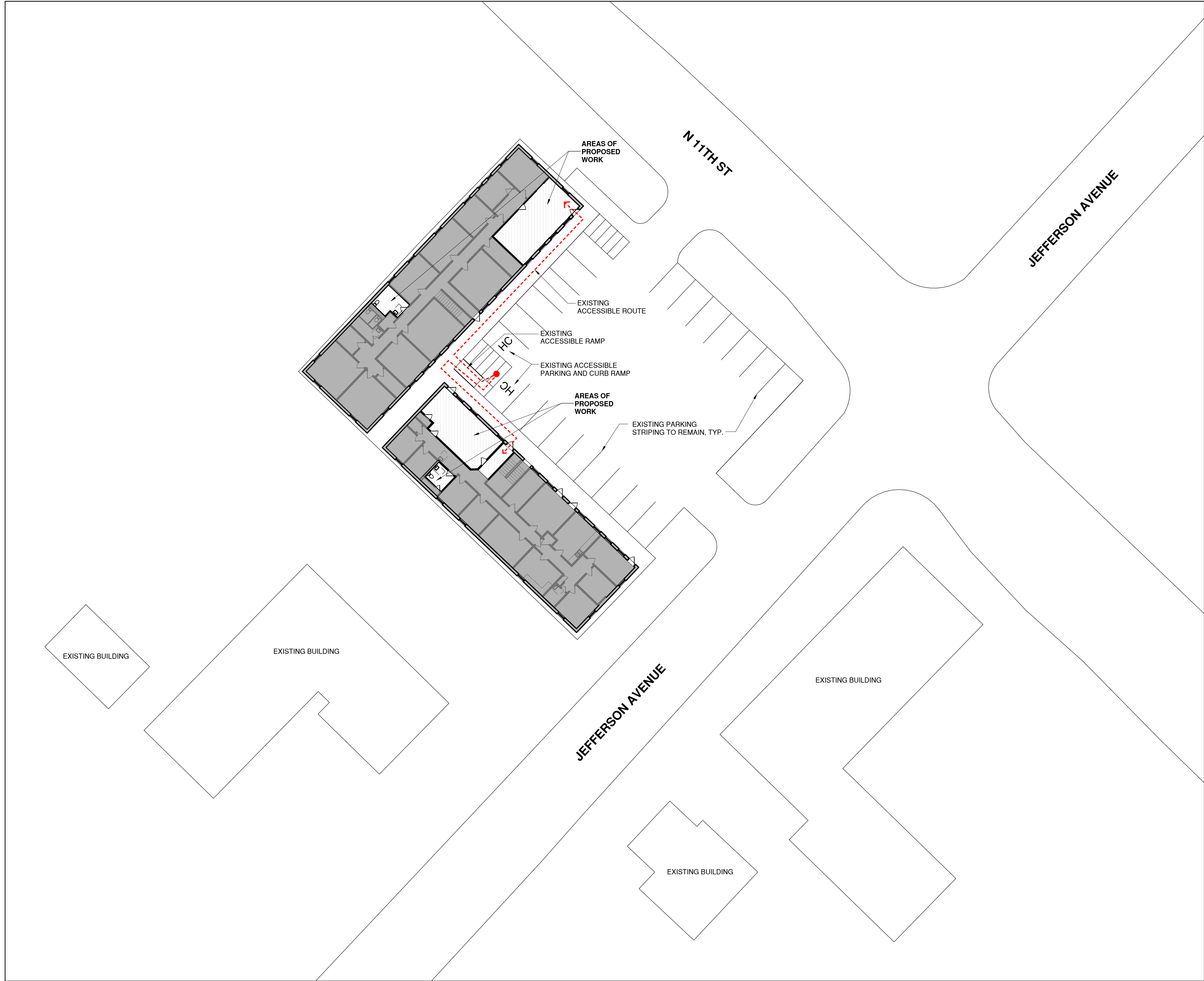
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OCTOBER 10, 2025

MATERIAL LEGEND <table><tr><td></td><td>RIGID INSULATION</td><td></td><td>EARTH</td></tr><tr><td></td><td>GYPSUM BOARD</td><td></td><td>FOAM INSULATION</td></tr><tr><td></td><td>CONCRETE IN SECTION</td><td></td><td></td></tr><tr><td></td><td>CONCRETE IN PLAN</td><td></td><td></td></tr><tr><td></td><td>PLYWOOD</td><td></td><td></td></tr><tr><td></td><td>WOOD FRAMING/ BLOCKING (CONT.)</td><td></td><td></td></tr><tr><td></td><td>WOOD FRAMING/ BLOCKING (NON-CONT.)</td><td></td><td></td></tr><tr><td></td><td>BRICK</td><td></td><td></td></tr><tr><td></td><td>CMU/MASONRY</td><td></td><td></td></tr><tr><td></td><td>STEEL</td><td></td><td></td></tr><tr><td></td><td>ALUMINUM</td><td></td><td></td></tr><tr><td></td><td>BATT INSULATION</td><td></td><td></td></tr><tr><td></td><td>FINISH WOOD</td><td></td><td></td></tr></table>					RIGID INSULATION		EARTH		GYPSUM BOARD		FOAM INSULATION		CONCRETE IN SECTION				CONCRETE IN PLAN				PLYWOOD				WOOD FRAMING/ BLOCKING (CONT.)				WOOD FRAMING/ BLOCKING (NON-CONT.)				BRICK				CMU/MASONRY				STEEL				ALUMINUM				BATT INSULATION				FINISH WOOD			ABBREVIATIONS <table><tr><td>ABV. ABOVE</td><td>M.R. MOISTURE RESISTANT</td></tr><tr><td>A.C.T. ACOUSTICAL CEILING TILE</td><td>MTL. MATERIAL</td></tr><tr><td>ACM ALUMINUM COMPOSITE MATERIAL</td><td>(N) NEW</td></tr><tr><td>ADJ. ADJUSTABLE</td><td>NAT. NATURAL</td></tr><tr><td>A.F.F. ABOVE FINISH FLOOR</td><td>N.I.C. NOT IN CONTRACT</td></tr><tr><td>ALUM. ALUMINUM</td><td>NOM. NOMINAL</td></tr><tr><td>ANOD. ANODIZED</td><td>N.T.S. NOT TO SCALE</td></tr><tr><td>ARCH. ARCHITECT(URAL)</td><td>O.C. ON CENTER</td></tr><tr><td>BLDG. BUILDING</td><td>O.D. OUTSIDE DIAMETER</td></tr><tr><td>B.U.R. BUILT UP ROOF</td><td>O.F. OVERFLOW DRAIN</td></tr><tr><td>C.J. CONTROL JOINT</td><td>O.F.C.I. OWNER FURNISH/CONTRACTOR INSTALLED</td></tr><tr><td>CLG. CEILING</td><td>OPG. OPENING</td></tr><tr><td>CONC. CONCRETE</td><td>OPP. OPPOSITE</td></tr><tr><td>CONT. CONTINUOUS</td><td>PR. PAIR</td></tr><tr><td>C.T. CERAMIC TILE</td><td>PRKG. PARKING</td></tr><tr><td>DIA. DIAMETER</td><td>P.L. PLASTIC LAMINATE</td></tr><tr><td>DK. DARK</td><td>R. RISER</td></tr><tr><td>D.S. DOWN SPOUT</td><td>RE: REFER (TO)</td></tr><tr><td>DW DISHWASHER</td><td>REF. REFRIGERATOR</td></tr><tr><td>(E) EXISTING</td><td>REINF. REINFORCED</td></tr><tr><td>EXIST. EXISTING</td><td>REQD. REQUIRED</td></tr><tr><td>EA. EACH</td><td>R.D. ROOF DRAIN</td></tr><tr><td>E.J. EXPANSION JOINT</td><td>RND. ROUND</td></tr><tr><td>ELEC. ELECTRICAL</td><td>R.O. ROUGH OPENING</td></tr><tr><td>ELEV. ELEVATION</td><td>S.C. SOLID CORE</td></tr><tr><td>EQ. EQUAL</td><td>S.F. SQUARE FEET</td></tr><tr><td>EQUIP. EQUIPMENT</td><td>SIM. SIMILAR</td></tr><tr><td>E.W.C. ELECTRIC WATER COOLER</td><td>SPEC. SPECIFICATIONS</td></tr><tr><td>FIN. FINISH(ES)(ED)</td><td>S.S. STAINLESS STEEL</td></tr><tr><td>F.E. FIRE EXTINGUISHER</td><td>STD. STANDARD</td></tr><tr><td>F.E.C. FIRE EXTINGUISHER CABINET</td><td>STL. STEEL</td></tr><tr><td>F.D.C. FIRE DEPARTMENT CONNECTION</td><td>STRUCT. STRUCTURAL</td></tr><tr><td>F.D. FLOOR DRAIN</td><td>T. TREAD</td></tr><tr><td>FL. FLOW</td><td>T.O.S. TOP OF STEEL</td></tr><tr><td>F.O.C. FACE OF CONCRETE</td><td>T.O.C. TOP OF CONCRETE / CURB</td></tr><tr><td>F.O.F. FACE OF FINISH</td><td>T.O.M. TOP OF MASONRY</td></tr><tr><td>F.O.S. FACE OF STUD</td><td>T.O.R. TOP OF ROOF</td></tr><tr><td>FRP FIBERGLASS REINFORCED PLASTIC</td><td>T.O.W. TOP OF WALL</td></tr><tr><td>GALV. GALVANIZED</td><td>TYP. TYPICAL</td></tr><tr><td>GA. GAUGE</td><td>U.N.O. UNLESS NOTED OTHERWISE</td></tr><tr><td>G.C. GENERAL CONTRACTOR</td><td>V.C.T. VINYL COMPOSITION TILE</td></tr><tr><td>G.B. GYPSUM BOARD</td><td>VERT. VERTICAL</td></tr><tr><td>H.C. HOLLOW CORE</td><td>V.I.F. VERIFY IN FIELD</td></tr><tr><td>H.M. HOLLOW METAL</td><td>V.W.C. VINYL WALL COVERING</td></tr><tr><td>HORIZ. HORIZONTAL</td><td>W/ WITH</td></tr><tr><td>HT. HEIGHT</td><td>W.C. WATER CLOSET</td></tr><tr><td>I.D. 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OPPOSITE	CONT. CONTINUOUS	PR. PAIR	C.T. CERAMIC TILE	PRKG. PARKING	DIA. DIAMETER	P.L. PLASTIC LAMINATE	DK. DARK	R. RISER	D.S. DOWN SPOUT	RE: REFER (TO)	DW DISHWASHER	REF. REFRIGERATOR	(E) EXISTING	REINF. REINFORCED	EXIST. EXISTING	REQD. REQUIRED	EA. EACH	R.D. ROOF DRAIN	E.J. EXPANSION JOINT	RND. ROUND	ELEC. ELECTRICAL	R.O. ROUGH OPENING	ELEV. ELEVATION	S.C. SOLID CORE	EQ. EQUAL	S.F. SQUARE FEET	EQUIP. EQUIPMENT	SIM. SIMILAR	E.W.C. ELECTRIC WATER COOLER	SPEC. SPECIFICATIONS	FIN. FINISH(ES)(ED)	S.S. STAINLESS STEEL	F.E. FIRE EXTINGUISHER	STD. STANDARD	F.E.C. FIRE EXTINGUISHER CABINET	STL. STEEL	F.D.C. FIRE DEPARTMENT CONNECTION	STRUCT. STRUCTURAL	F.D. FLOOR DRAIN	T. TREAD	FL. FLOW	T.O.S. TOP OF STEEL	F.O.C. FACE OF CONCRETE	T.O.C. TOP OF CONCRETE / CURB	F.O.F. FACE OF FINISH	T.O.M. TOP OF MASONRY	F.O.S. FACE OF STUD	T.O.R. TOP OF ROOF	FRP FIBERGLASS REINFORCED PLASTIC	T.O.W. TOP OF WALL	GALV. GALVANIZED	TYP. TYPICAL	GA. GAUGE	U.N.O. UNLESS NOTED OTHERWISE	G.C. GENERAL CONTRACTOR	V.C.T. 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DEVICE MOUNTING											



1 SITE PLAN
SCALE: 1"=20'-0"

GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE FOR LOCATION OF PROPERTY LINES, BUILDING SETBACKS AND UNDERGROUND UTILITIES WHERE APPLICABLE TO PROJECT SCOPE OF WORK.
2. PROPERTY LINES, UTILITIES AND ALL SITE IMPROVEMENTS ARE SCHEMATIC IN NATURE. ITEMS INDICATED ON THIS PLAN ARE USED FOR DESIGN INTENT ONLY. ITEMS SHOWN ARE GENERATED FROM GOOGLE EARTH DATA / MCLENNAN CAD AND DO NOT REPRESENT AN ON THE GROUND SURVEY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND COORDINATING WORK WITH ALL ITEMS NECESSARY AS DEFINED WITHIN THE PROJECT SCOPE.

NISBET ARCHITECTURE

215 S. 2nd Street Suite 307

Waco, Texas 76701

(254)910-8010

info@NisbetArchitecture.com

REGISTERED ARCHITECT

STATE OF TEXAS

27715

10-10-2025

OCTOBER 10, 2025

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**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION
1105 JEFFERSON AVE, WACO TEXAS**

FILE NAME

C:/Users/Mason/OneDrive - Nisbet Architecture/NA Projects/25121 - BHN Jefferson Ave/Model/Layout/1_BID PACKAGE/A-100 - SITE.layout

ISSUE DATE

<TBD>

PRINT DATE

October 10, 2025

REVISION

MATERIAL PLAN KEY

- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
- NEW PARTITION
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

- REFER TO DOOR SCHEDULE
- REFER TO WINDOW SCHEDULE
- REFER TO WALL TYPE SCHEDULE FOR PARTITIONS

DIMENSION KEY

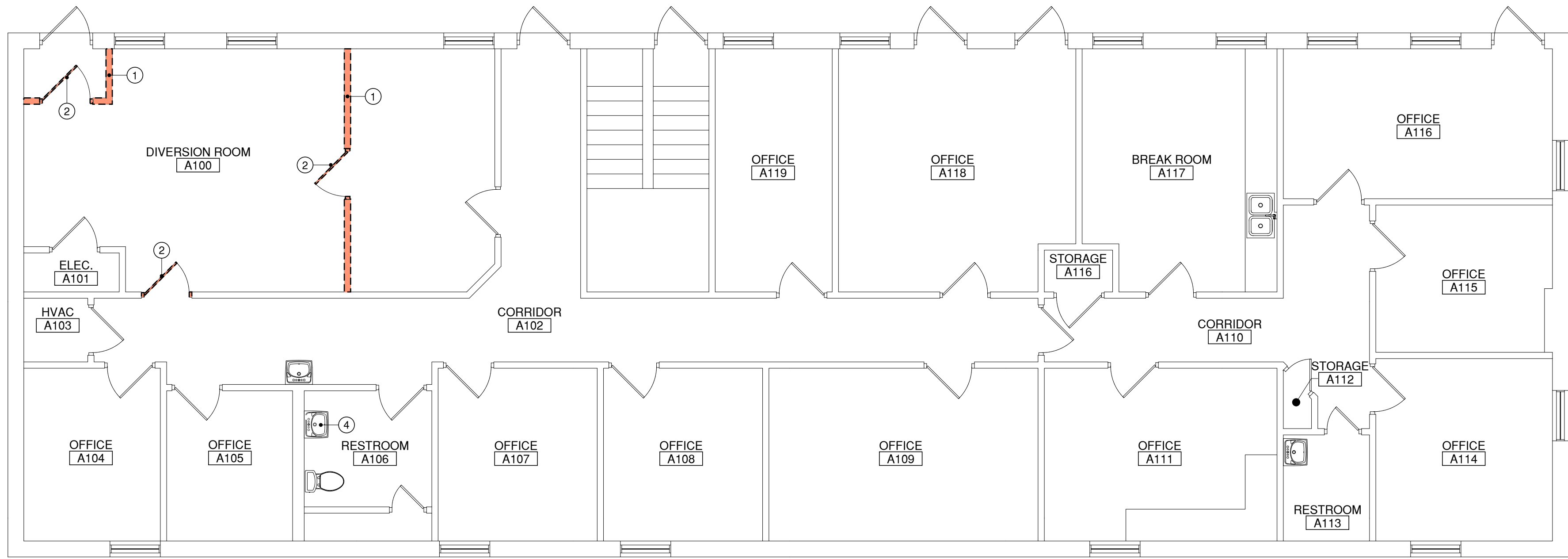
- DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
- DIMENSION - DENOTING CENTERLINE / STRUCTURAL GRID
- DIMENSION - DENOTING FACE OF FINISH / CLEAR

Contractor shall be responsible for reviewing all plans and specifications & verifying all existing conditions prior to proceeding with construction.

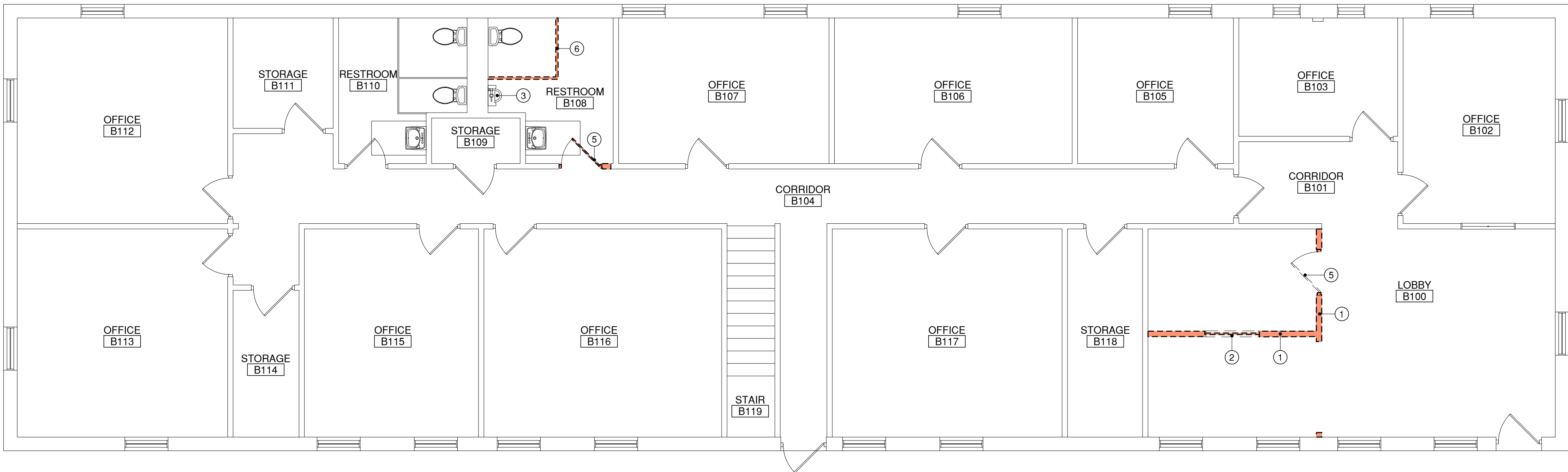
Contractor shall comply with all applicable building codes and notify the Architect immediately of any discrepancies or conflicts.

SITE PLAN

A-100



1 DEMOLITION PLAN - WEST WING
SCALE: 3/16"=1'-0"



2 DEMOLITION PLAN - EAST WING
SCALE: 3/16"=1'-0"

DEMOLITION KEYNOTES	
1	DEMO EXISTING INTERIOR WALL(S) AS INDICATED. REMOVE ALL STUDS, GYPSUM BOARD, BASE AND ELECTRICAL. PATCH AND REPAIR AS REQUIRED.
2	REMOVE EXISTING WINDOW/DOOR
3	REMOVE EXISTING PLUMBING FIXTURE. CAP AS REQUIRED.
4	REMOVE AND RELOCATE FIXTURE. REF. 1/A500 FOR NEW LOCATION
5	REMOVE AND SALVAGE DOOR FOR RE-USE
6	DEMO EXISTING TOILET PARTITION
GENERAL DEMO NOTES:	
1.	REMOVE ALL EXISTING FINISHES WHERE NEW FINISHES ARE SCHEDULED
2.	REMOVE ALL AFFECTED ELECTRICAL PER DEMOLITION PLANS. REMOVE ALL NON-REMAINING WIRING & CAP ABOVE CEILING. REMOVE ALL NON-REMAINING ELECTRICAL OUTLETS, DATA OUTLETS, TV OUTLETS, ECT.
3.	REMOVE NON-REMAINING LIGHTING & CAP AFFECTED WIRING.
4.	REMOVE ALL EXISTING FLOORING & SCRAPE CLEAR TO STRUCTURAL FLOOR WHERE NEW FINISHES ARE SCHEDULED
5.	REMOVE ALL NON-REMAINING CABINETS & ASSOCIATED FIXTURES
6.	REMOVE & CAP ALL NON-REMAINING PLUMBING
7.	FIELD VERIFY LOCATIONS OF ALL LOAD BEARING STRUCTURES AND WALLS PRIOR TO DEMOLITION
8.	AT ALL LOAD BEARING WALLS TO BE REMOVED / AFFECTED: PROVIDE TEMPROARY BRACE UNTIL LOAD IS SUPPORTED
9.	REFER TO ASBESTOS AND LEAD PAINT REPORTS BEFORE DISTURBING ANY EXISTING BUILDING MATERIALS
10.	SALVAGE ANY MATERIALS AS DIRECTED BY OWNER & STORE FOR RE-USE ON SITE IN PROTECTED LOCATION.
11.	VERIFY AND PROTECT ALL GAS LINES. LABEL ALL ON SITE UTILITY LINES NEAR DEMOLITION ZONE PRIOR TO COMMENCING WORK
12.	ALL FURNITURE INCLUDING TABLES, CHAIRS, TV S, ETC TO BE REMOVED BY OWNER
13.	ALL BUILT-IN FURNISHINGS TO BE REMOVED BY CONTRACTOR UNLESS NOTED OTHERWISE

MATERIAL PLAN KEY	
	EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
	NEW PARTITION
	EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED
PLAN NOTES	
	REFER TO DOOR SCHEDULE
	REFER TO WINDOW SCHEDULE
	REFER TO G-002 FOR WALL TYPES
DIMENSION KEY	
	DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
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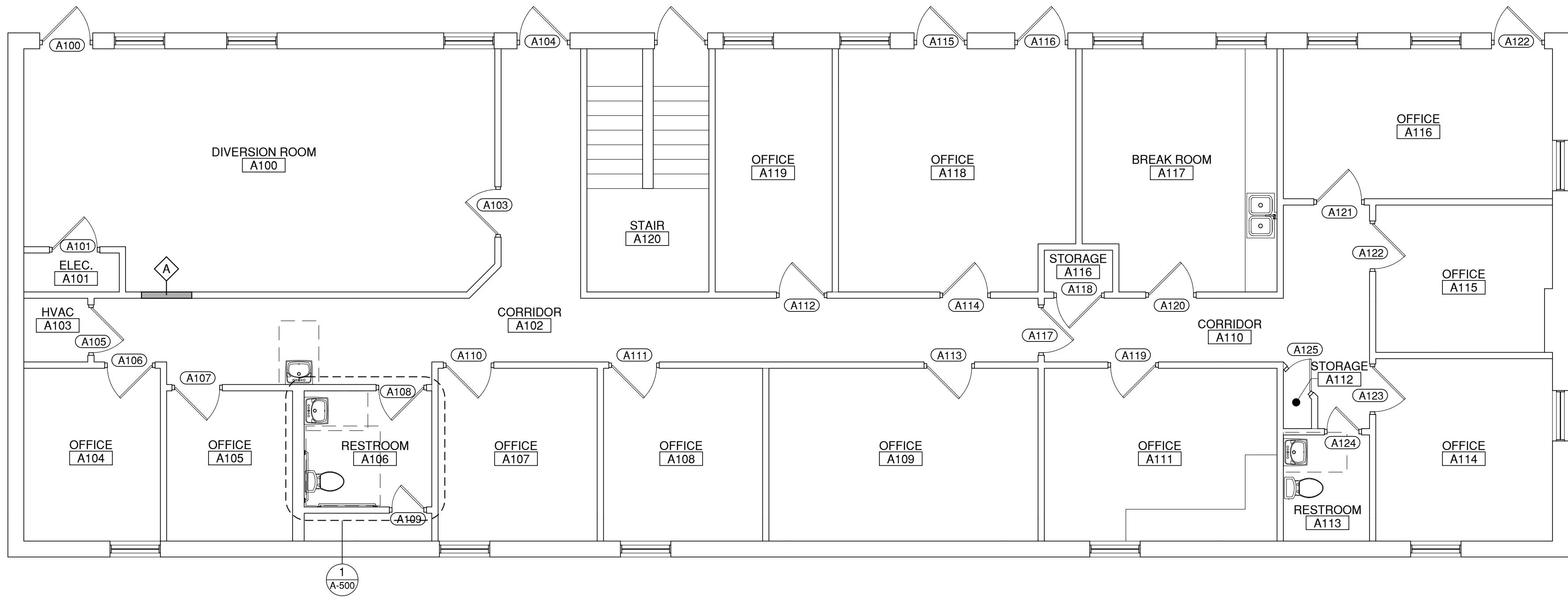
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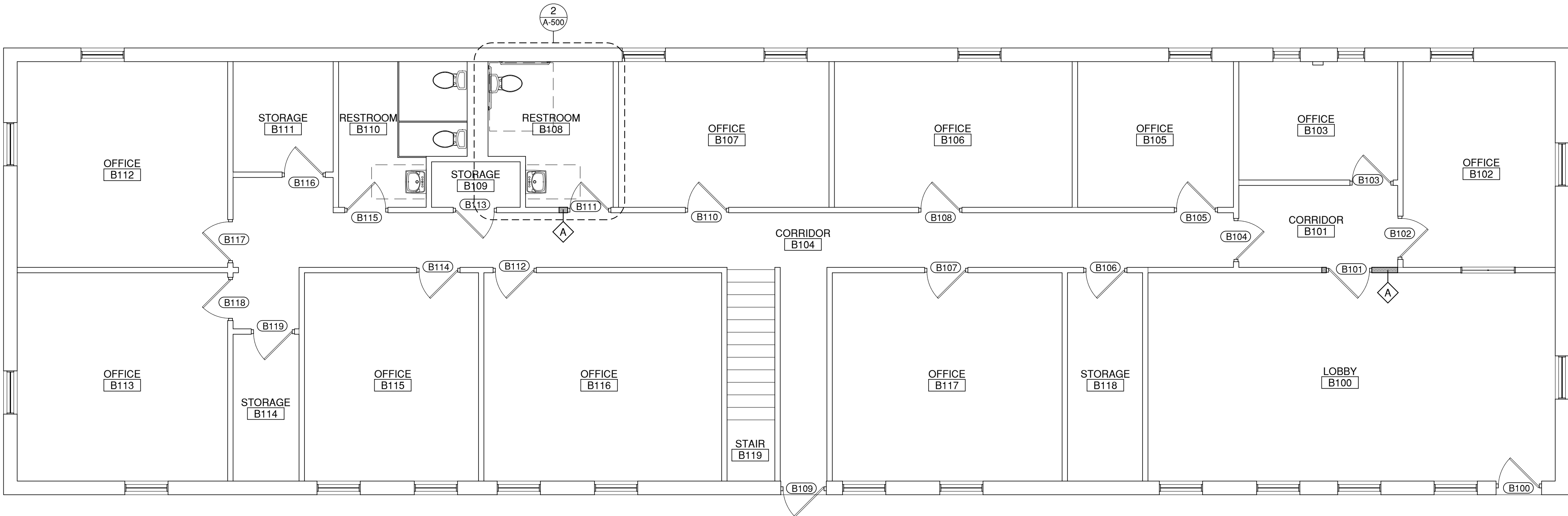
REVISION

DEMO PLAN

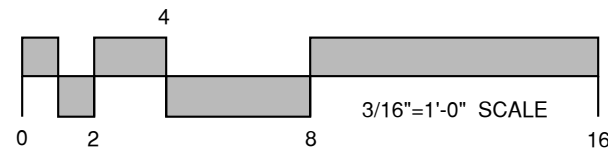
A-200



1 FLOOR PLAN - WEST WING LEVEL 1
SCALE: 3/16"=1'-0"



2 FLOOR PLAN - EAST WING LEVEL 1
SCALE: 3/16"=1'-0"



MATERIAL PLAN KEY

- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
- NEW PARTITION
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

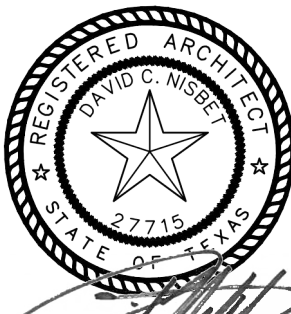
- XXX REFER TO DOOR SCHEDULE
- X REFER TO WINDOW SCHEDULE
- X REFER TO G-002 FOR WALL TYPES

DIMENSION KEY

- 4'-0" DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
- 4'-0" DIMENSION - DENOTING CENTERLINE / STRUCTURAL GRID
- 4'-0" DIMENSION - DENOTING FACE OF FINISH / CLEAR

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1105 JEFFERSON AVE, WACO TEXAS

FILE NAME

C:/Users/Mason/OneDrive - Nisbet Architecture/NA Projects/25121 - BHN Jefferson Ave/Model/Layout/1_BID PACKAGE/A-200 - PLANS.layout

ISSUE DATE

<TBD>

PRINT DATE

October 10, 2025

REVISION

FLOOR PLANS - LEVEL 1

A-220



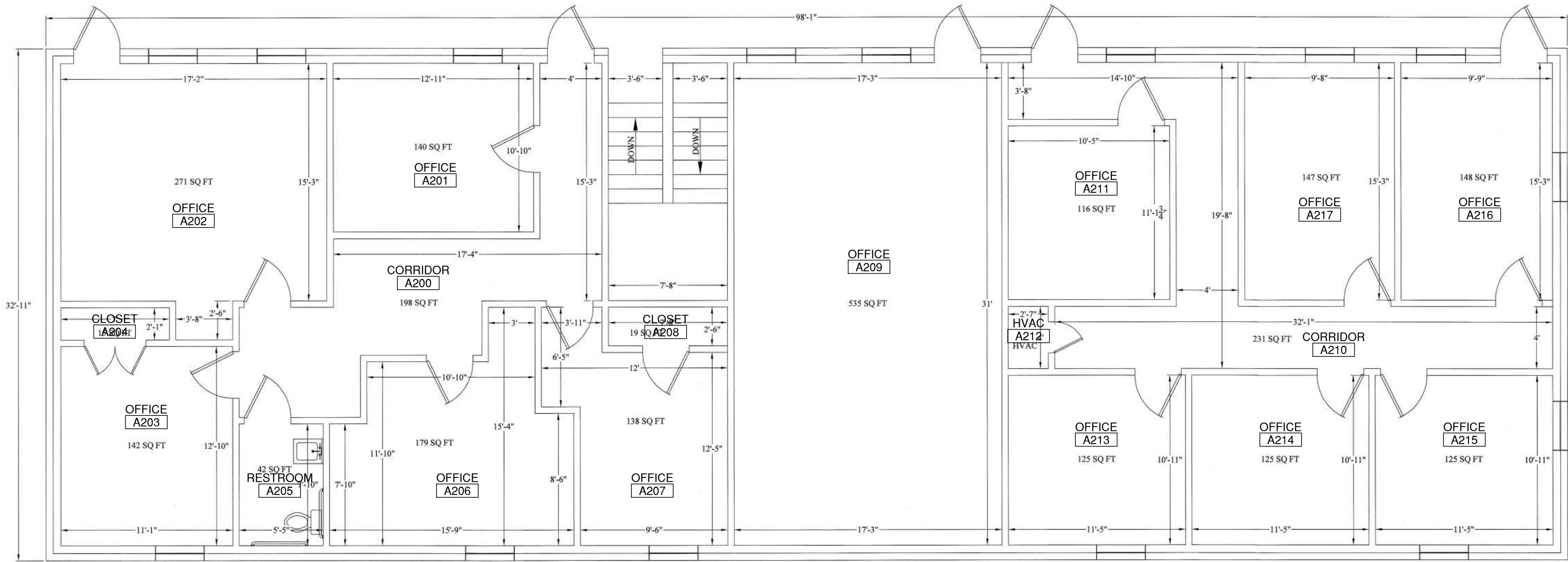
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**BEHAVIORAL HEALTH NETWORK
KLARAS CENTER FOR FAMILIES
INTERIOR RENOVATION**
1105 JEFFERSON AVE, WACO TEXAS

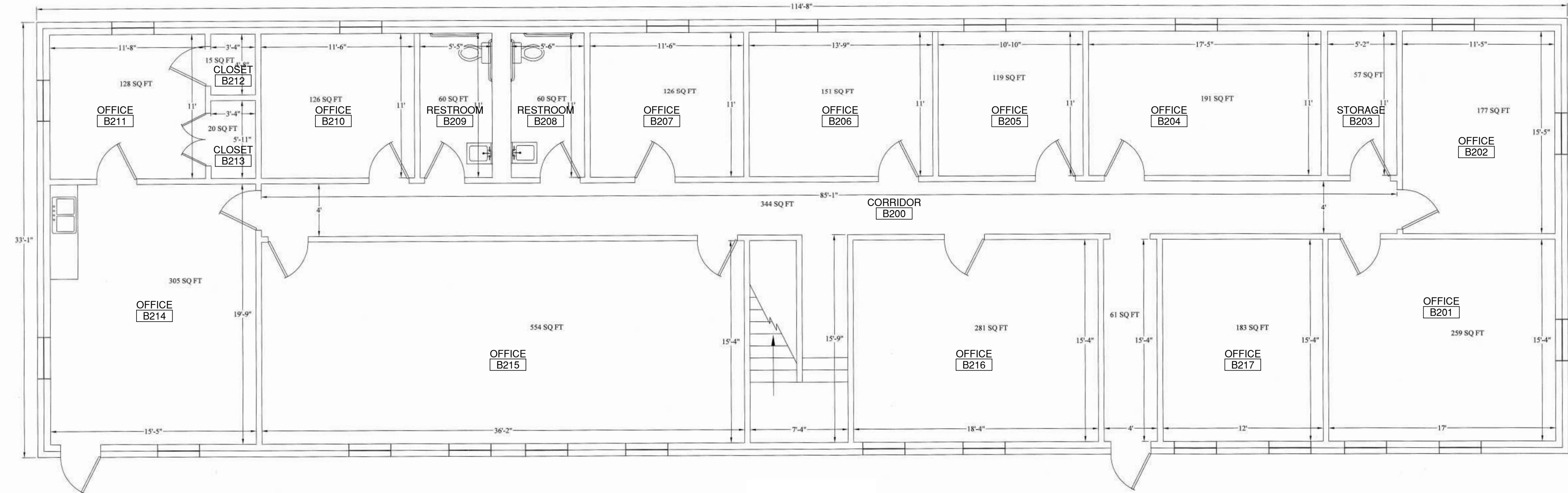
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FLOOR PLANS - LEVEL 2

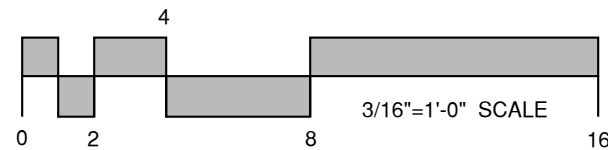
A-221



1 FLOOR PLAN - WEST WING LEVEL 2
SCALE: 3/16"=1'-0"



2 FLOOR PLAN - EAST WING LEVEL 2
SCALE: 3/16"=1'-0"



MATERIAL PLAN KEY

- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
- NEW PARTITION
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

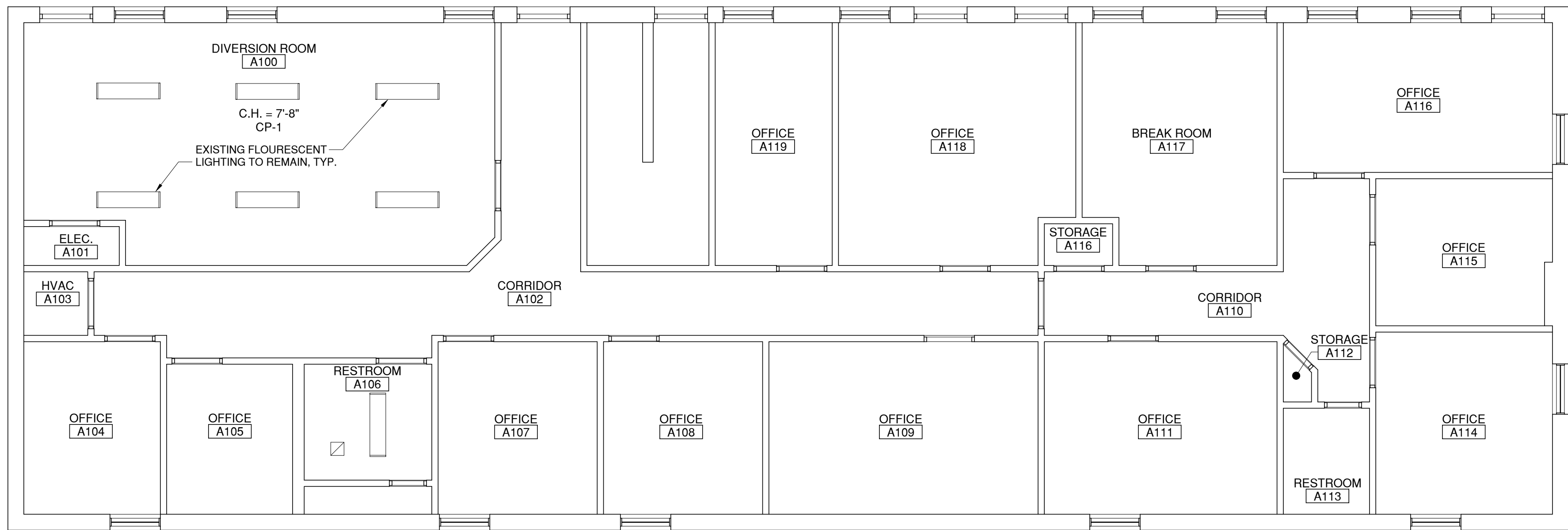
- REFER TO DOOR SCHEDULE
- REFER TO WINDOW SCHEDULE
- REFER TO G-002 FOR WALL TYPES

DIMENSION KEY

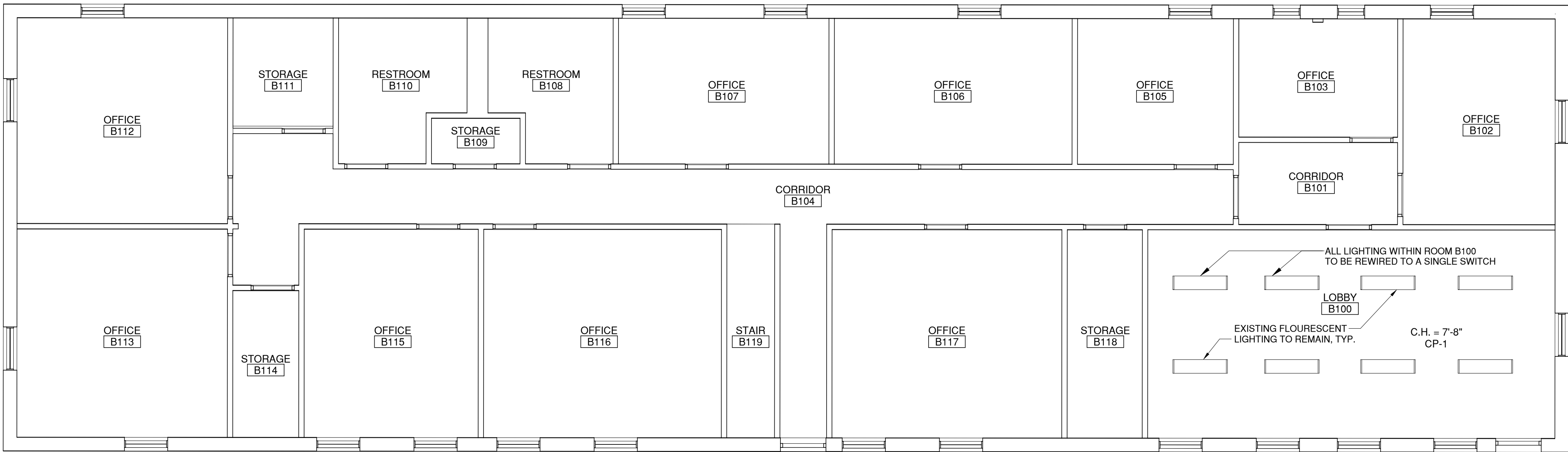
- DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
- DIMENSION - DENOTING CENTERLINE / STRUCTURAL GRID
- DIMENSION - DENOTING FACE OF FINISH / CLEAR

Contractor shall be responsible for reviewing all plans and specifications & verifying all existing conditions prior to proceeding with construction.

Contractor shall comply with all applicable building codes and notify the Architect immediately of any discrepancies or conflicts.



1 REFLECTED CEILING PLAN - WEST WING
SCALE: 3/16"=1'-0"



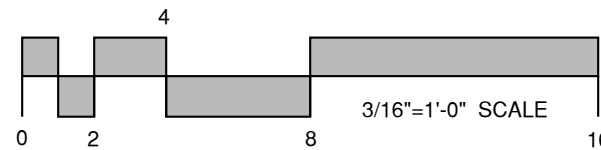
2 REFLECTED CEILING PLAN - EAST WING
SCALE: 3/16"=1'-0"

- GENERAL NOTES:**
1. ALL INTERIOR CEILINGS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE
 2. REFER TO FINISH SCHEDULE FOR SCOPE OF WORK.
 3. ALL EXISTING LIGHT FIXTURES TO REMAIN
 4. ALL EXISTING MECHANICAL EQUIPMENT TO REMAIN
 5. NOT ALL ITEMS ARE SHOWN. CONTRACTOR TO VISIT THE SITE TO REVIEW ALL EXISTING CONDITIONS



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MATERIAL PLAN KEY

- EXISTING STRUCTURE, WALLS, AND/OR PARTITIONS TO REMAIN
- NEW PARTITION
- EXISTING STRUCTURE, WALLS, PARTITION OR ITEM TO BE DEMOLISHED

PLAN NOTES

- XXX REFER TO DOOR SCHEDULE
- X REFER TO WINDOW SCHEDULE
- X REFER TO G-002 FOR WALL TYPES

DIMENSION KEY

- 4'-0" DIMENSION - DENOTES FACE OF STRUCTURE/FRAMING U.N.O.
- 4'-0" DIMENSION - DENOTING CENTERLINE / STRUCTURAL GRID
- 4'-0" DIMENSION - DENOTING FACE OF FINISH / CLEAR

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**REFLECTED CEILING
PLANS - LEVEL 1**

A-260

Finish Schedule:									
	ROOM NAME	FLOOR	BASE	WALLS				CEILING	NOTES
				NORTH	EAST	SOUTH	WEST		
A100	DIVERSION ROOM	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	PATCH CEILING AS REQUIRED
A101	ELEC.	-	-	-	-	-	-	EXISTING TO REMAIN	
A102	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A103	HVAC	-	-	-	-	-	-	EXISTING TO REMAIN	
A104	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A105	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A106	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A107	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A108	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A109	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A110	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A111	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A112	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A113	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A114	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A115	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A116	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A117	BREAK ROOM	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A118	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A119	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A120	STAIR		RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A200	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A201	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A202	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A203	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A204	CLOSET	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A205	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A206	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A207	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A208	CLOSET	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A209	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A210	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A211	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A212	HVAC	-	-	-	-	-	-	EXISTING TO REMAIN	
A213	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A214	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A215	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A216	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
A217	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B100	LOBBY	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B101	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B102	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B103	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B104	CORRIDOR	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B105	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B106	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B107	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B108	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B109	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B110	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B111	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B112	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B113	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B114	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B115	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B116	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B117	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B118	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B119	STAIR		RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B200	CORRIDOR	LVT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B201	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B202	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B203	STORAGE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B204	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B205	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B206	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B207	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B208	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B209	RESTROOM	EXISTING TO REMAIN	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B210	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B211	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B212	CLOSET	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B213	CLOSET	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B214	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B215	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B216	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	
B217	OFFICE	CPT-1	RB-1	PNT	PNT	PNT	PNT	EXISTING TO REMAIN	

MATERIALS KEY					
FLOORS	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	PRODUCT INFO
LVT-1	LUXURY VINYL TILE	DALTILE	PINES TERRACE	GINGER P178	7 1/4"x48" PLANK, 3MM
CPT-1	CARPET TILE	PATCRAFT	GEMSCAPE	GYPSUM 00160	24"x24" CARPET TILE
BASE					
RB-1	RUBBER	TARAKETT	BASEWORKS TYPE TS	TG6 MINK	4" RUBBER BASE W/TOE
WALLS					
WP-1	TEXTURE & PAINT GYPSUM BOARD	SHERWIN-WILLIAMS	SW 7570	EGRET WHITE	EGGSHELL

Door Schedule																				
Door #	DOOR								Fire R.	Hdwr.	FRAME		DETAILS			Remarks				
	Type	Width	Height	Thickness	Material	Glazing	Finish	Material			Finish	Jamb	Head	Sill						
A100																			EXISTING TO REMAIN	
A101																			EXISTING TO REMAIN	
A102																			EXISTING TO REMAIN	
A103																			EXISTING TO REMAIN	
A104																			EXISTING TO REMAIN	
A105																			EXISTING TO REMAIN	
A106																			EXISTING TO REMAIN	
A107																			EXISTING TO REMAIN	
A108																			EXISTING TO REMAIN	
A109																			EXISTING TO REMAIN	
A110																			EXISTING TO REMAIN	
A111																			EXISTING TO REMAIN	
A112																			EXISTING TO REMAIN	
A113																			EXISTING TO REMAIN	
A114																			EXISTING TO REMAIN	
A115																			EXISTING TO REMAIN	
A116																			EXISTING TO REMAIN	
A117																			EXISTING TO REMAIN	
A118																			EXISTING TO REMAIN	
A119																			EXISTING TO REMAIN	
A120																			EXISTING TO REMAIN	
A121																			EXISTING TO REMAIN	
A122																			EXISTING TO REMAIN	
A123																			EXISTING TO REMAIN	
A124																			EXISTING TO REMAIN	
A125																			EXISTING TO REMAIN	
B100																			EXISTING TO REMAIN	
B101	-	-	-	-	-	-	-	-	-	-	-	-	-	3/A-500	3/A-500	N/A			REUSE SALVAGED DOOR, REF. 2/A-200	
B102																			EXISTING TO REMAIN	
B103																			EXISTING TO REMAIN	
B104																			EXISTING TO REMAIN	
B105																			EXISTING TO REMAIN	
B106																			EXISTING TO REMAIN	
B107																			EXISTING TO REMAIN	
B108																			EXISTING TO REMAIN	
B109																			EXISTING TO REMAIN	
B110																			EXISTING TO REMAIN	
B111	-	-	-	-	-	-	-	-	-	-	-	-	-	3/A-500	3/A-500	N/A			REUSE SALVAGED DOOR, REF. 2/A-200	
B112																			EXISTING TO REMAIN	
B113																			EXISTING TO REMAIN	
B114																			EXISTING TO REMAIN	
B115																			EXISTING TO REMAIN	
B116																			EXISTING TO REMAIN	
B117																			EXISTING TO REMAIN	
B118																			EXISTING TO REMAIN	
B119																			EXISTING TO REMAIN	